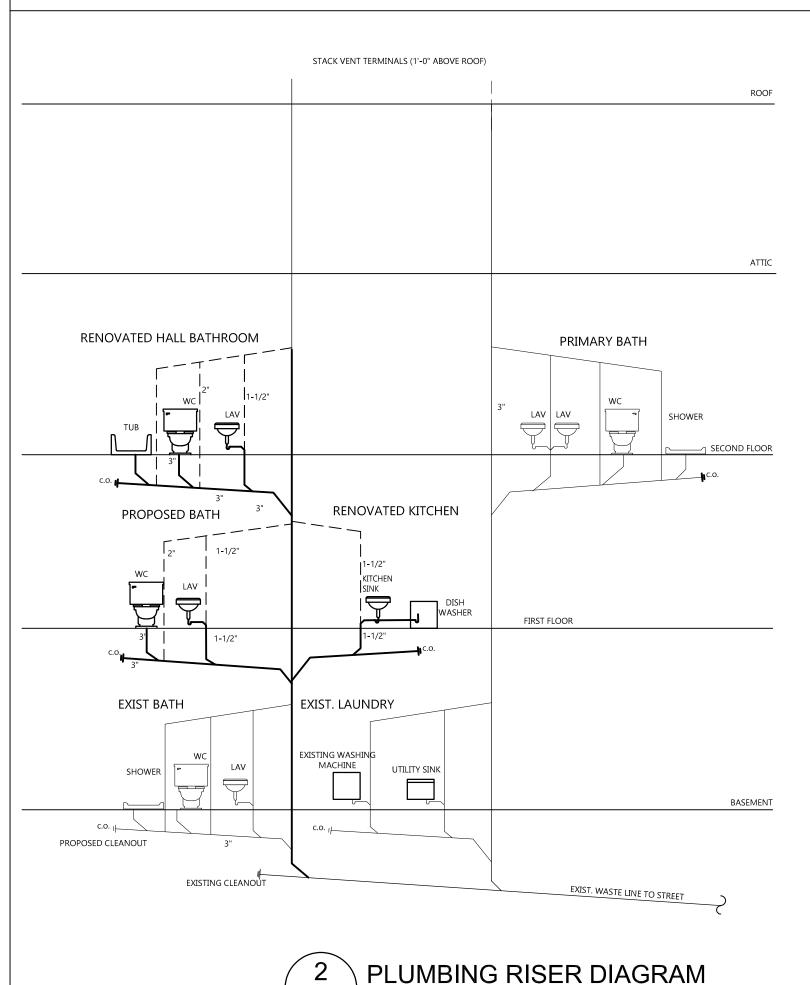


ΔRF	BREVIATIONS				
	AT AT			DEV.	DEVICION
@ A/C	AIR CONDITIONING	HDWR	HARDWARE	REV R.F.	REVISION RAISED FLOOR
ACT	ACOUSTICAL CEILING TILE		HOLLOW METAL	RH	RIGHT HAND
ADJ	ADJUST (ABLE)		HORIZONTAL	RM	ROOM
AFF	ABOVE FINISHED FLOOR		HOUR	RO	ROUGH OPENING
AFS	ABOVE FINISHED SLAB		HEIGHT		
ALT	ALTERNATE	HTG	HEATING	S	SPEAKER
ALUM	ALUMINUM	HW	HOT WATER	SCH	SCHEDULE
		Н	HEATER	SD	SMOKE DETECTOR
BD	BOARD	HVAC	HEATING/VENTILATION		SECTION
BLKG	BUILDING BLOCKING		AIR CONDITIONING	SG SH	SAFETY GLASS
BO	BY OTHERS, BOTTOM OF	INCI	INCLUDE (ING)	SIM	SHEET SIMILAR
BOTT		INSUI	INSULATE (ION)	SP	STARTING POINT
BS	BUILDING STANDARD	INT	INTERIOR	SPEC	
BSMT				SPKR	
		JC	JANITOR'S CLOSET	SQ	SQUARE
C	CARPETING	JT	JOINT	SS	STAINLESS STEEL
CAB	CABINET			STD	STAINLESS STANDA
CL	CENTERLINE	KIT	KITCHEN	STL	STEEL
CLR	CLEAR	KO	KNOCKOUT		STORAGE
CLG	CEILING		LENGTH		STAINLESS STEEL
CLOS	CLOSET COLUMN	L LAM	LAMINATE		SURFACE SUSPENDED
	CONCRETE	LAV	LAVATORY	3036	SOSPLINDLD
	CONSTRUCTION	LED	LED LIGHTING	Т	TREAD
	CONTRACTOR	LH	LEFT HAND	T&B	TOP & BOTTOM
CORR	CORRIDOR	LT	LIGHT	TEL	TELEPHONE
CT	CERAMIC TILE				TEMPERED
			MECHANICAL		TERRAZZO, TERRAC
DEM	DEMOLISH, (TION)	MET	METAL	T&G	
DET DF	DETAIL DRINKING FOUNTAIN		MISCELLANEOUS MOULDING	THK	THICK (NESS) TACKBOARD
DH	DOUBLE HUNG	MO	MASONRY OPENING		TRIMMED OPENING
DIA	DIAMETER	MTD	MOUNTED	T.V.	TELEVISION CABLE
DIAG	DIAGONAL	MTL	MATERIAL	TYP.	TYPICAL
DIM	DIMENSION				
DN	DOWN	NA	NOT APPLICABLE	UC	UNDERCUT
DR	DOOR	NIC	NOT IN CONTRACT		UNFINISHED
DWG	DRAWING	NOM NTS	NOMINAL NOT TO SCALE	UON	UNLESS OTHERWIS
EA	EACH	INIO	NOT TO SCALL		NOTED
EL	ELEVATION	OA	OVERALL	W	WIDE, WIDTH
ELEC	ELECTRIC	OC	ON CENTER	W/	WITH
ELEV	ELEVATION	OD	OUTSIDE OF DIAMETER	WC	WALLCOVERING, W
ENCL	ENCLOSE	ОН	OVERHEAD		CLOSET
EQ	EACH ELEVATION ELECTRIC ELEVATION ENCLOSE EQUAL EQUIPMENT		OPENING		\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
EQUIP	EQUIPMENT	OPP	OPPOSITE	WD	WOOD
EVAC	ETCETERA ELECTRIC WATER COOLER	PTD	PAINT (ED)	WP	WATERPROOF
EXH	EXHAUST	PNL	PANEL	V	VINYL
	EXISTING	P	PLATE		VISION PANEL
EXP	EXPOSED	PL	PLASTIC	VCT	
		PLUME	B PLUMBING		VIDEO DISPLAY TER
FA	FRESH AIR	POL	POLISHED		VERTICAL
FE	FIRE EXTINGUISHER	PROJ	PROJECT		VESTIBULE
FEC	FIRE EXTINGUISHER	PT	POINT	VIF	VERIFY IN FIELD
r.c	CABINET	PTL	PRESSURE TREATED		
FG FH	FLOAT GLASS	PTN	LUMBER PARTITION		
FH FIN	FULL HEIGHT FINISH	PWD	PLYWOOD		
FIIN	FLOOR	1 440	. 2. ***		
	FLUORESCENT FIREPROOF	QT	QUARRY TILE		
FPSC	FIREPROOF SELF- CLOSING	R	RADIUS,RISER		
FR	FIREPROOF SELF- CLOSING FIRE RETARDANT FULL SIZE	Α	RETURN AIR		
			RESILIENT BASE		
FUT	FUTURE	REF	REFERENCE		
<b>C</b> 1	CALICE		REFRIGERATOR		
GA	GAUGE CENERAL CONTRACTOR	REG	REGULAR RELOCATE(D)		
GC GL	GENERAL CONTRACTOR GLASS	REL REO'D	RELOCATE(D) REQUIRED		
	ULADO	NLQD	VEQUIVED		



A-01 SCALE: NTS

BRANTLY RESIDENCE

40 ELMWOOD ROAD
VERONA, NJ 07044

ZONING DISTRICT RESIDENTIAL - R-60

TAX BLOCK 706 TAX LOT 3

#### LOADS

CLIMATE ZONE

1.	ROOF DEAD LOAD:	20 PSF
2.	ROOF LIVE LOAD:	30 PSF
3.	FLOOR DEAD LOAD (AT WOOD FINISH):	20 PSF
4.	FLOOR DEAD LOAD (AT TILE FINISH):	30 PSF
5.	FLOOR LIVE LOAD:	40 PSF
6.	ATTIC WITHOUT STORAGE:	10 PSF
7.	GUARDRAILS AND HANDRAILS:	200 PSF
8.	GUARDRAIL INFILL COMPONENTS:	50 PSF
9.	STAIRS:	40 PSF
10.	SNOW LOAD:	30 PSF
11.	WIND LOAD:	115 MPH, 3-SEC GUSTS
12.	RISK CATEGORY:	II

### BULK CALCULATIONS

LOT AREA:	12,898 SQ.FT.
BUILDING COVERAGE EXISTING EXIST HOUSE	2,319 SF / 12,898 SF = 18% 1,283 SF
EXIST GARAGE	528 SF
EXIST DECK	508 SF

BUILDING COVERAGE PROPOSED	2,390 SF / 12,898 SF = 18.53%
PROPOSED HOUSE	(25% MAX ALLOWED) 1,676 SF
PROP REAR DECK	186 SF
EXIST GARAGE	528 SF

IMPERVIOUS COVERAGE EXISTING	4953 SF / 12,898 SF = 38.4%
EXIST HOUSE	1,283 SF
EXIST GARAGE	528 SF
EXIST DECK	508 SF
EXIST DRIVEWAY & BACK PATIO	2,364 SF
EXIST FRONT WALK	180 SF
EXIST REAR GARAGE WALK	90 SF

EXIST REAR GARAGE WALK	90 SF
IMPERVIOUS COVERAGE PROPOSED	4,975 SF / 12,898 SF = 38.57% (40% MAX ALLOWED)
PROP HOUSE	1,676 SF

	(40 /0 IVIAN ALLOVED)
PROP HOUSE	1,676 SF
EXIST GARAGE	528 SF
PROP DECK	186 SF
PROP DRIVEWAY & BACK PATIO	2,315 SF
EXIST FRONT WALK	180 SF
EXIST REAR GARAGE WALK	90 SF

### BUILDING AREA

EXISTING BASEMENT FLOOR: ADDITION TO BASEMENT FLOOR:	1,149 SF 382 SF
TOTAL BASEMENT FLOOR:	1,531 SF
EXISTING FIRST FLOOR:	1,174 SF
ADDITION TO FIRST FLOOR:	329 SF
TOTAL FIRST FLOOR:	1,503 SF
EXISTING SECOND FLOOR:	825 SF
ADDITION TO SECOND FLOOR:	367 SF
TOTAL SECOND FLOOR:	1,192 SF
EXIST ATTIC FLOOR:	378 SF

ADDITION TO ATTIC FLOOR:	206 SF
TOTAL ATTIC FLOOR:	584 SF
EXISTING VOLUME:	7,664 CU.FT. EXIST BASEMENT 9,744 CU.FT. EXIST, 1ST FLR

PROPOSED ADDITION VOLUME:	2,548 CU.FT. BASEMENT
	2,731 CU.FT 1ST FLOOR
	2,936 CU.FT. 2ND FLOOR
	8,215 CU.FT. TOTAL ADDITION

6,600 CU.FT. EXIST. 2ND FLR

### BUILDING HEIGHT

BASEMENT

### HEIGHT CALCULATION

PROPOSED HEIGHT:

 •	<u> </u>		
1.	FINISHED FIRST FLOOR:	0'-0"	
2.	FRONT RIGHT CORNER:	-2'-9"	
2.	RIGHT SIDE MIDDLE:	-4'-10"	
2.	LEFT SIDE MIDDLE:	-3'-10"	
3.	RIGHT SIDE REAR:	-5'-8"	
4.	LEFT SIDE FRONT:	-2'-5"	
5.	LEFT SIDE REAR:	-5'-4"	
AVI	ERAGE GRADE HEIGHT:	-4'-1"	
EXI:	ST & PROP ROOF LINE ABOVE FIN FIRST FLR:	31'-2"	
HEI	GHT OF BUILDING ABOVE GRADE:	35'-3"	

2.5 STORY W/ BASEMENT

35'-4" (30' MAX ALLOWED)

### SETBACKS

521B/ (CR5		
NORTH FRONT SETBACK:	PROPOSED 15-1" PROPOSED	REQUIRED 30'-0"
SOUTH SIDE SETBACK:	15'-2" EXISTING	8'-0"
EAST FRONT SETBACK:	47'-0" EXISTING	30'-0"
WEST SIDE (REAR) SETBACK:	89'-11" PROP	30'-0"

### CODE COMPLIANCE

- GOVERNING CODE OF NEW ADDITION AND INTERIOR ALTERATIONS TO BE PER:
- INTERNATIONAL RESIDENTIAL CODE, NJ ADDITION 2021
- REHABILITATION SUBCODE NJAC 5:23-6
- NATIONAL ELECTRICAL CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2021
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (RESIDENTIAL)

#### PROJECT SCOPE

- REAR TWO STORY ADDITION FOR A RELOCATED KITCHEN AND LIVING ROOM.
- 2. FIRST FLOOR TO HAVE EXISTING HALF BATH REMOVED AND EXISTING KITCHEN AND DINING DEMO'D.
- 3. FIRST FLOOR TO HAVE NEW SUN ROOM AND NEW
  MUDROOM OFF OF RENOVADED HALF BATHROOM AND
- 4. EXISTING DINING ROOM AND KITCHEN TO BE UPDATED AND INTERIOR WALLS OPENED UP. REMOVE LOAD BEARING WALL BETWEEN DINING ROOM AND FRONT LIVING ROOM.
- 5. EXISTING SITE IS ON A SLOPE TOWARDS THE REAR YARD. PROVIDE A NEW DECK LANDING AND STAIRS DOWN TO THE DRIVEWAY SIDE OF THE HOUSE.
- 6. SECOND FLOOR WILL HAVE (2) TWO NEW BEDROOMS IN NEW ADDITION. PROVIDE NEW LAUNDRY CLOSET OFF OF HALLWAY. RENOVATE EXISTING HALL BATHROOM WITH BETTER LAYOUT OF FIXTURES.
- 7. EXISTING SECOND FLOOR BEDROOM AT TOP OF STAIRS TO BE REDUCED TO PROVIDE CLOSET SPACE FOR BEDROOM AND HALLWAY LINEN CLOSET.
- 8. SECOND FLOOR HALL BATHROOM TO BE RENOVATED PER PLANS. PROVIDE DOUBLE VANITY AND NEW TUB/SHOWER. RELOCATE TOILET.
- 9. NEW ADDITION TO SIT ON A MASONRY FOUNDATION THAT WILL PROVIDE A FULL BASEMENT. TIE INTO EXISTING FINISHED BASEMENT.
- 10. NEW ROOF AND DORMERS IN THE ATTIC TO EXTEND THE EXISTING ATTIC BEDROOM CLOSET AREA.

#### DRAWING LIST - JOB # ES-2463

ARCHITECTURAL:						
	A-01	- SITE PLAN, CODES, AND NOTES				

,,,,,,	
A-02	- DEMOLITION FLOOR PLANS

- A-03 PROPOSED BASEMENT & FIRST FLOOR PLANS
- PROPOSED BASEMENT & FIRST FLOOR PLAINS
- A-05 PROPOSED ELEVATIONS

A-04 - PROPOSED SECOND, ATTIC & ROOF PLANS

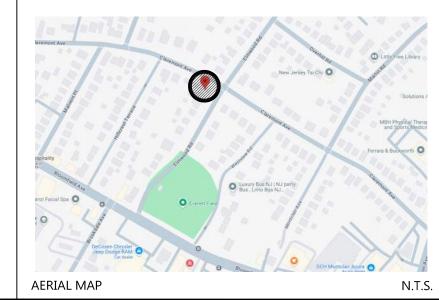
- A-06 PROPOSED WALL SECTION AND FRAMING PLANS
- A-07 STRUCTURAL NOTES
- A-08 -DETAILS 1
- A-09 DETAILS 2
- E-01 PROPOSED ELECTRICAL PLAN & NOTES



PROPOSED RENDERING N.T.S.

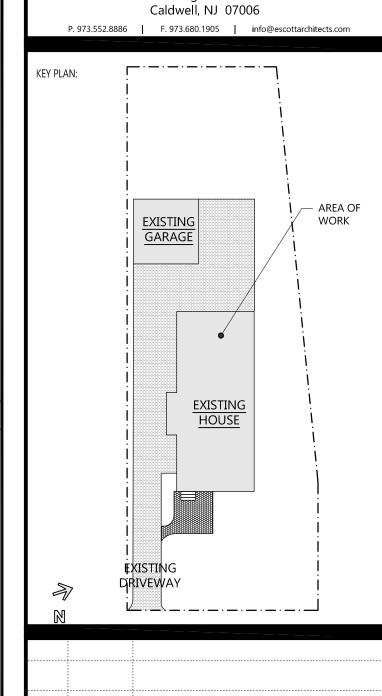


PROPOSED HOUSE - FRONT ELEVATION N.T.S.





EScott Architects, LLC
28 Arlington Avenue



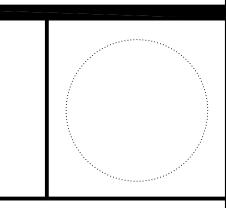
BRANTLEY RESIDENCE

03/24/25 ISSUED FOR VARIANCE

03/19/25 ISSUED FOR BID

NO. DATE DESCRIPTION

40 ELMWOOD VERONA, NJ 07044



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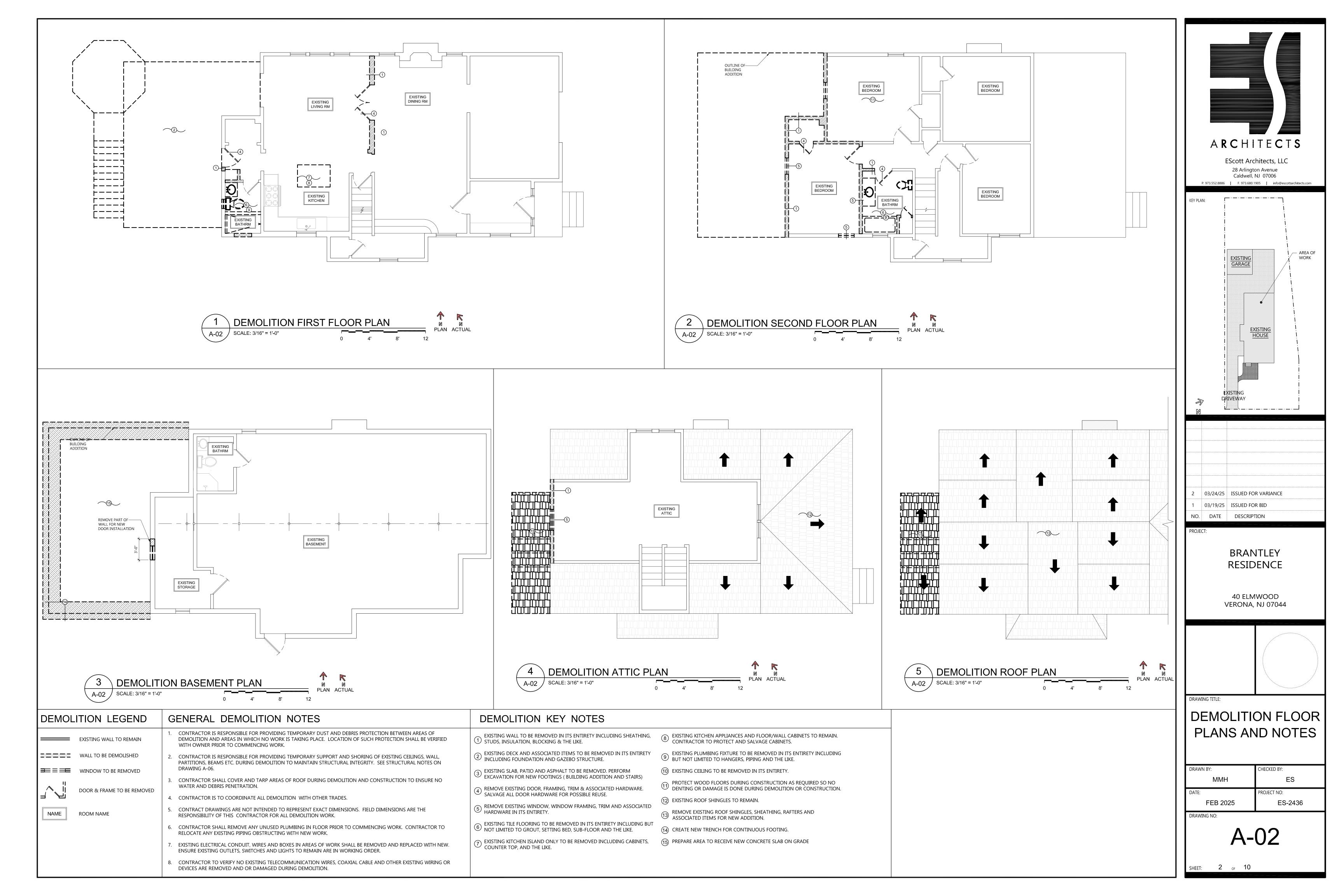
# SITE PLAN, CODES AND DETAILS

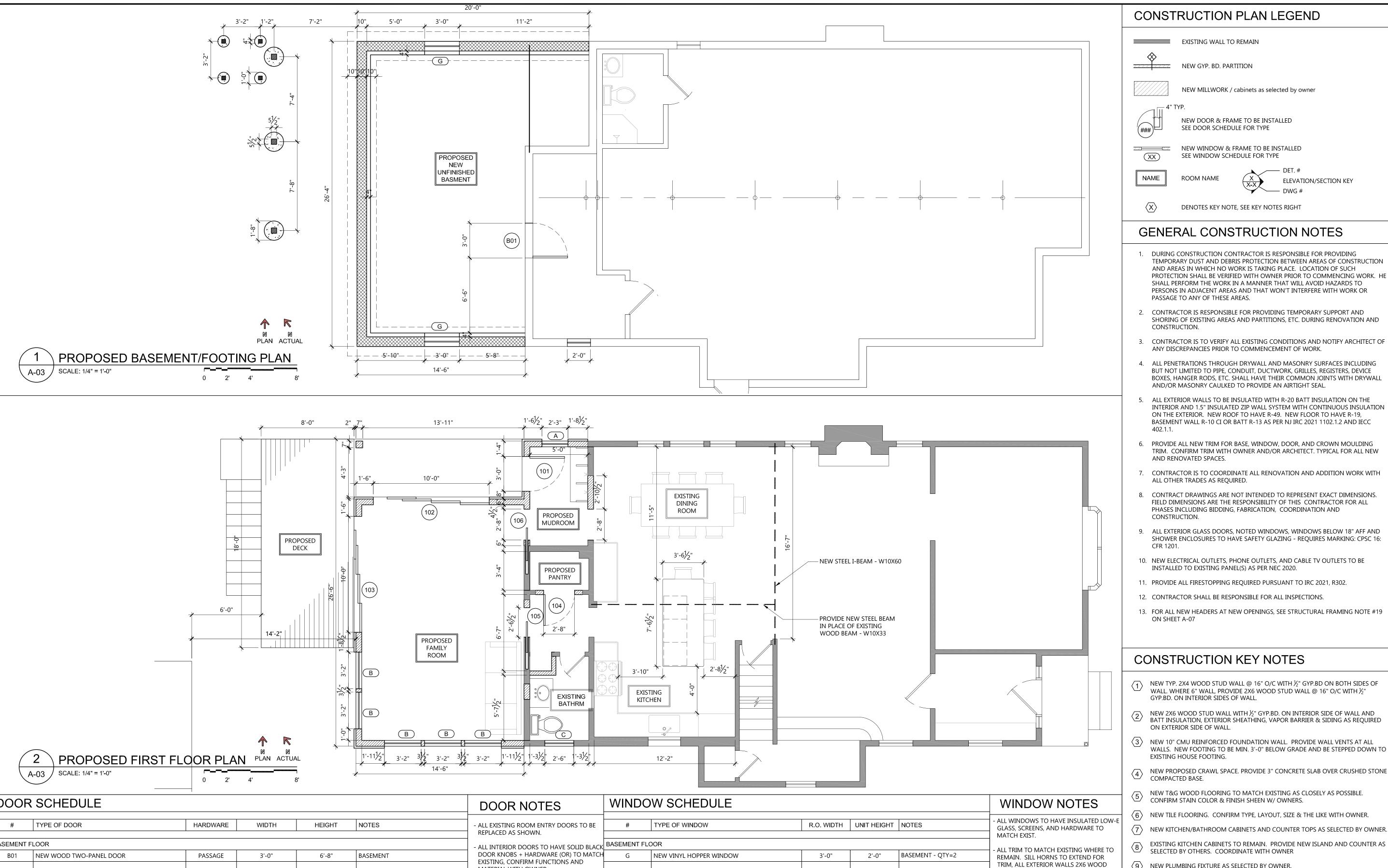
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NOVEMBER 2024	ES-2463	
DRAWING NO:		

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A-U I

SHEET: 1 OF 10





DOO	R SCHEDULE					DOOR NOTES
#	TYPE OF DOOR	HARDWARE	WIDTH	HEIGHT	NOTES	- ALL EXISTING ROOM ENTRY DOORS TO E REPLACED AS SHOWN.
BASEMEN	T FLOOR					- ALL INTERIOR DOORS TO HAVE SOLID BL
B01	NEW WOOD TWO-PANEL DOOR	PASSAGE	3'-0"	6'-8"	BASEMENT	DOOR KNOBS + HARDWARE (OR) TO MA EXISTING, CONFIRM FUNCTIONS AND MATERIAL WITH OWNER.
FIRST FLOC	DR .					- ALL DOORS TO BE SOLID CORE WOOD 6
101	FIBERGLASS ENTRY EXTERIOR DOOR	ENTRY	3'-0"	6'-8"	50% GLAZING	PANEL DOORS. CONFIRM DOOR STYLE A
102	10' WIDE TELESCOPING SLIDING PATIO DOOR	ENTRY	10'-0"	7'-0"	FULL TEMPERED GLAZING	MATERIAL WITH OWNER.
103	10' WIDE TELESCOPING SLIDING PATIO DOOR	ENTRY	10'-0"	7'-0"	FULL TEMPERED GLAZING	- CONFIRM NEW DOOR HEIGHT WITH
104	SOLID WOOD 2-PANEL DOOR	PASSAGE	2'-8"	6'-8"	PANTRY	EXISTING DOORS AND EXISTING OPENIN WHERE REQUIRED.
105	SOLID WOOD 2-PANEL POCKET DOOR	PASSAGE	2'-6"	6'-8"	PANTRY	
106	SOLID WOOD 2-PANEL POCKET DOOR	PASSAGE	2'-8"	6'-8"	MUDROOM	
SECOND F	LOOR					
201	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BEDROOM	
202	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BEDROOM	
203	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET	
204	NEW SOLID WOOD TWO PANEL DOUBLE DOOR	PASSAGE	(2) 2'-0"	6'-8"	LAUNDRY	
205	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET	
206	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET	
207	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BATHROOM	
ATTIC FLO	DR	1		1	1	
301	NEW WOOD 2-PANEL WOOD DOOR	PASSAGE	2'-6"	6'-8"	CLOSET	

	WIND	OW SCHEDULE				WINDOW NOTES		
О ВЕ	#	TYPE OF WINDOW	R.O. WIDTH	UNIT HEIGHT	NOTES	- ALL WINDOWS TO HAVE INSULATED LOW-E GLASS, SCREENS, AND HARDWARE TO MATCH EXIST.		
D BLACK MATCH	BASEMENT	FLOOR  NEW VINYL HOPPER WINDOW	3'-0"	2'-0"	BASEMENT - QTY=2	- ALL TRIM TO MATCH EXISTING WHERE TO		
)	<u> </u>	NEW VINTE HOFFER WINDOW	3-0	2 -0	BASEIVIEITI QTT=2	REMAIN. SILL HORNS TO EXTEND FOR TRIM, ALL EXTERIOR WALLS 2X6 WOOD STUDS (VERIFY IN FIELD).		
D 6 (LE AND	FIRST FLOO	NEW WOOD DOUBLE HUNG WINDOW	2'-3"	4'-0"	TEMPERED - QTY=1	- ALL EGRESS WINDOWS TO BE PER NJ CODE		
LE AIND	В	NEW WOOD DOUBLE HUNG WINDOW	3'-2"	5'-9"	QTY=5	- 5.7 SQ FT CLEAR OPN'G., 24" MIN. HEIGHT, 20" MIN. WIDTH MAX. 44" SILL HEIGHT		
NINGS	С	NEW WOOD DOUBLE HUNG WINDOW	2'-6"	3'-0"	QTY=1	ABOVE FINISH FLOOR.  - WINDOWS TO CLOSELY MATCH EXISTING		
	SECOND FLOOR					AS POSSIBLE IN SIZE, DESIGN AND MATERIAL.		
	D	NEW WOOD DOUBLE HUNG WINDOW	3'-2"	4'-9"	EGRESS WINDOW - QTY=6	- CONTRACTOR TO CONFIRM WITH OWNER		
-	ATTIC FLOO	 R				REGARDING STYLE, MATERIAL AND OPTIONS FOR ALL WINDOWS.		
•	E	NEW WOOD DOUBLE HUNG WINDOW	2'-6"	3'-0"	QTY=2			
	F	NEW WOOD DOUBLE HUNG WINDOW	2'-3"	3'-0"	QTY=2			
					1	_		

### CONSTRUCTION PLAN LEGEND

EXISTING WALL TO REMAIN NEW GYP. BD. PARTITION

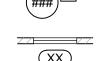




NEW MILLWORK / cabinets as selected by owner

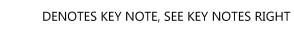


NEW DOOR & FRAME TO BE INSTALLED SEE DOOR SCHEDULE FOR TYPE



NEW WINDOW & FRAME TO BE INSTALLED SEE WINDOW SCHEDULE FOR TYPE





# GENERAL CONSTRUCTION NOTES

- 1. DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
- 2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
- 3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- 4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
- ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR. NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19, BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2021 1102.1.2 AND IECC
- 6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
- 7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
- 8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- 9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16:
- 10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
- 11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
- 13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

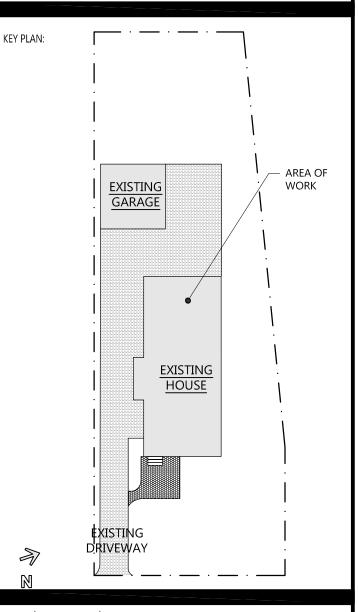
## CONSTRUCTION KEY NOTES

- NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH ½" GYP.BD ON BOTH SIDES OF WALL. WHERE 6" WALL, PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH ½" GYP.BD. ON INTERIOR SIDES OF WALL.
- NEW 2X6 WOOD STUD WALL WITH ½" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION, EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
- NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
- NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6 NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- 8 EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER
- 9 NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- (10) NEW CLOSET/PANTRY SHELVING AS SELECTED BY OWNER
- $\langle 11 \rangle$  New Tub/shower combo unit with glass doors.
- NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF
- (15) NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
- (16) NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
- NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS REQUIRED.
- EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.



EScott Architects, LLC 28 Arlington Avenue Caldwell, NJ 07006

P. 973.552.8886 | F. 973.680.1905 | info@escottarchitects.com



**BRANTLEY** RESIDENCE

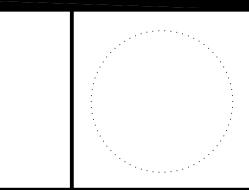
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NO. DATE DESCRIPTION

PROJECT:

40 ELMWOOD VERONA, NJ 07044

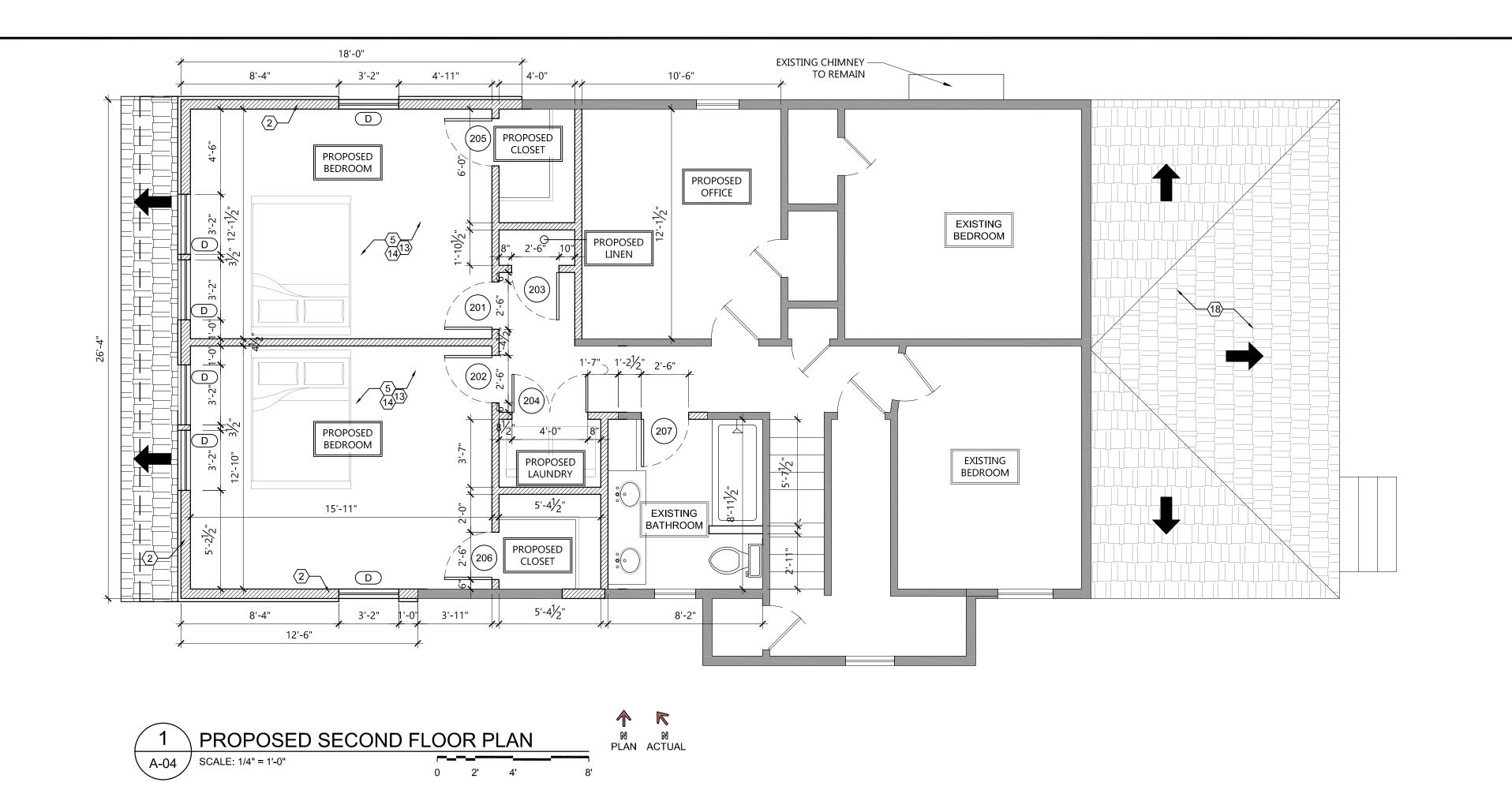


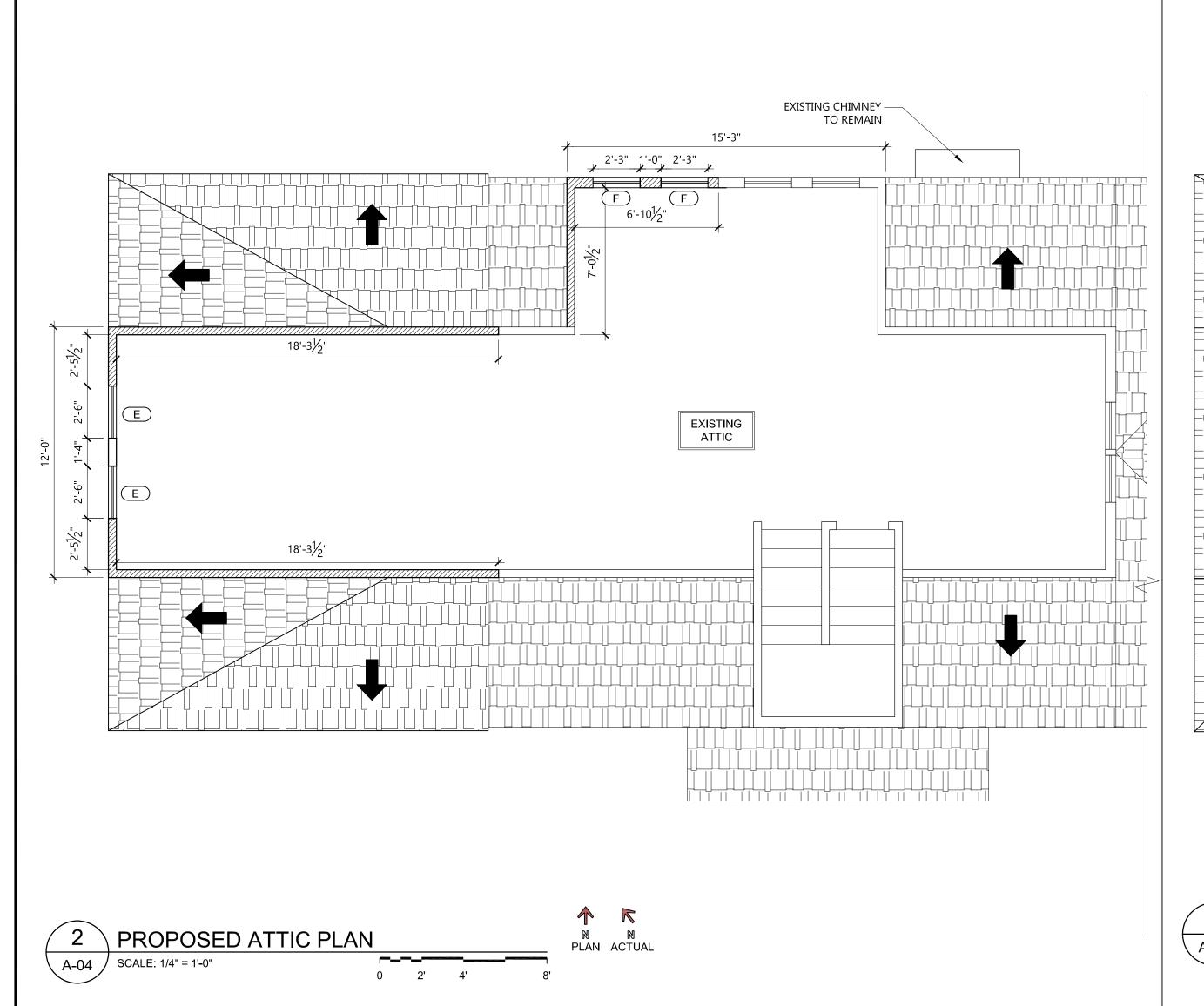
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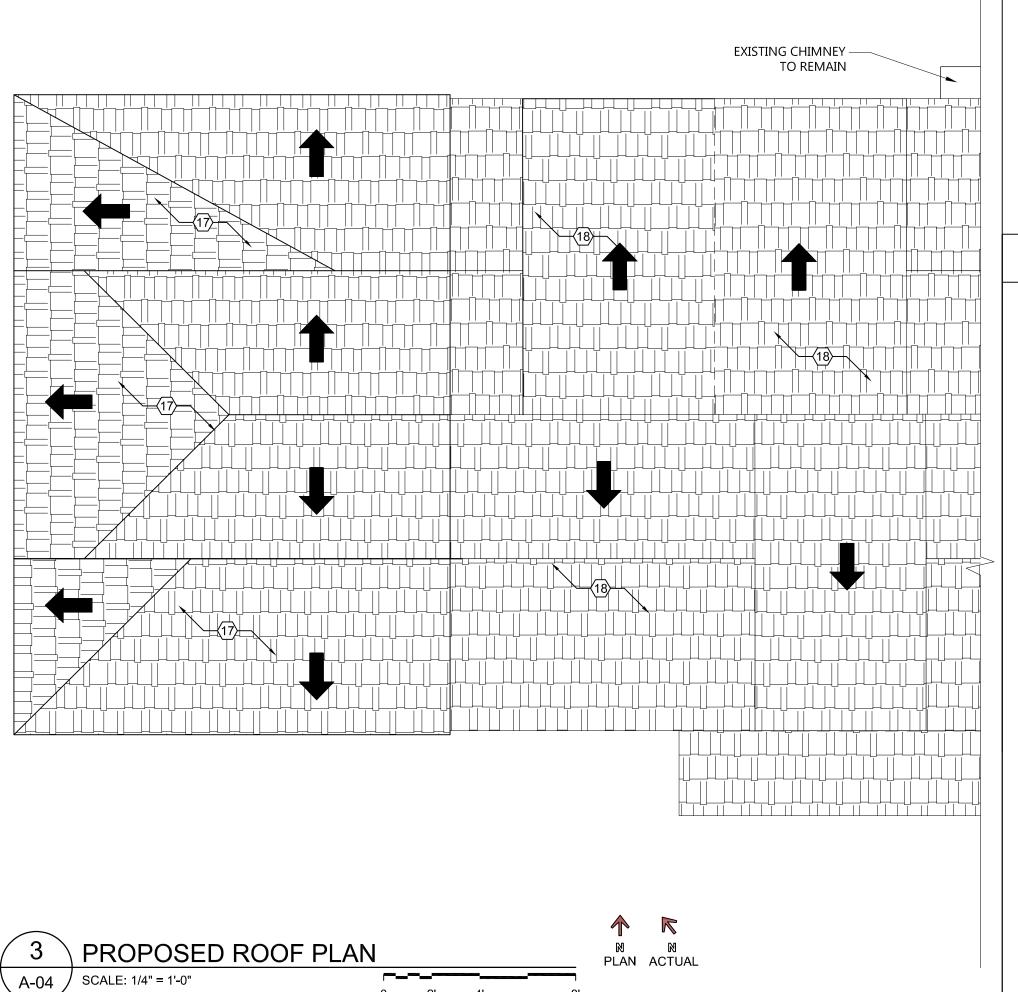
# PROPOSED **BASEMENT & FIRST** FLOOR PLANS

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	DATE:	PROJECT NO:
	FEB 2025	ES-2436
	DDAMING NO.	

DRAWING NO:







0 2' 4'

### CONSTRUCTION PLAN LEGEND

EXISTING WALL TO REMAIN NEW GYP. BD. PARTITION



NEW MILLWORK / CABINETS AS SELECTED BY OWNER



NEW DOOR & FRAME TO BE INSTALLED SEE DOOR SCHEDULE FOR TYPE



NEW WINDOW & FRAME TO BE INSTALLED SEE WINDOW SCHEDULE FOR TYPE





DENOTES KEY NOTE, SEE KEY NOTES RIGHT

## GENERAL CONSTRUCTION NOTES

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- 2. CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
- 3. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- 4. ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
- 5. ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION. NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19, BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2015 1102.1.2 AND IECC 402.1.1.
- 6. PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
- 7. CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
- 8. CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- 9. ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16:
- 10. NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE
- 11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2015, R302.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.

INSTALLED TO EXISTING PANEL(S) AS PER NEC 2014.

13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL SHEET, NOTE #4.

## CONSTRUCTION KEY NOTES

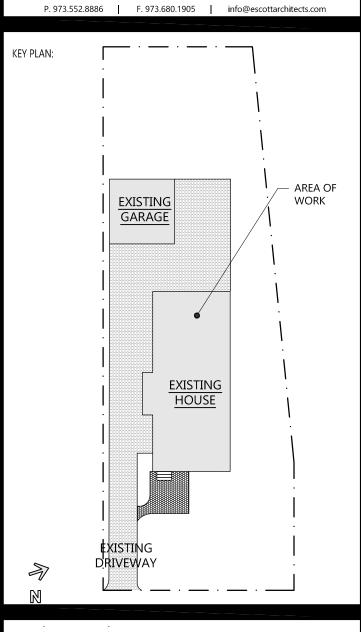
- NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH ½" GYP.BD ON BOTH SIDES OF WALL. WHERE 6" WALL, PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH ½" GYP.BD. ON INTERIOR SIDES OF WALL.
- NEW 2X6 WOOD STUD WALL WITH ½" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION, EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
- NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
- NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6 NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- $\overline{7}$  NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- 8 EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER
- 9 NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- (10) NEW CLOSET/PANTRY SHELVING AS SELECTED BY OWNER
- 11 NEW TUB/SHOWER COMBO UNIT WITH GLASS DOORS.

REQUIRED.

- NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF
- NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
- (16) NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND. NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS
- EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.



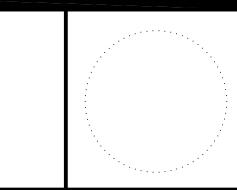
EScott Architects, LLC 28 Arlington Avenue Caldwell, NJ 07006



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> **BRANTLEY** RESIDENCE

40 ELMWOOD VERONA, NJ 07044



DRAWING TITLE:

# PROPOSED SECOND, ATTIC & ROOF FLOOR PLANS

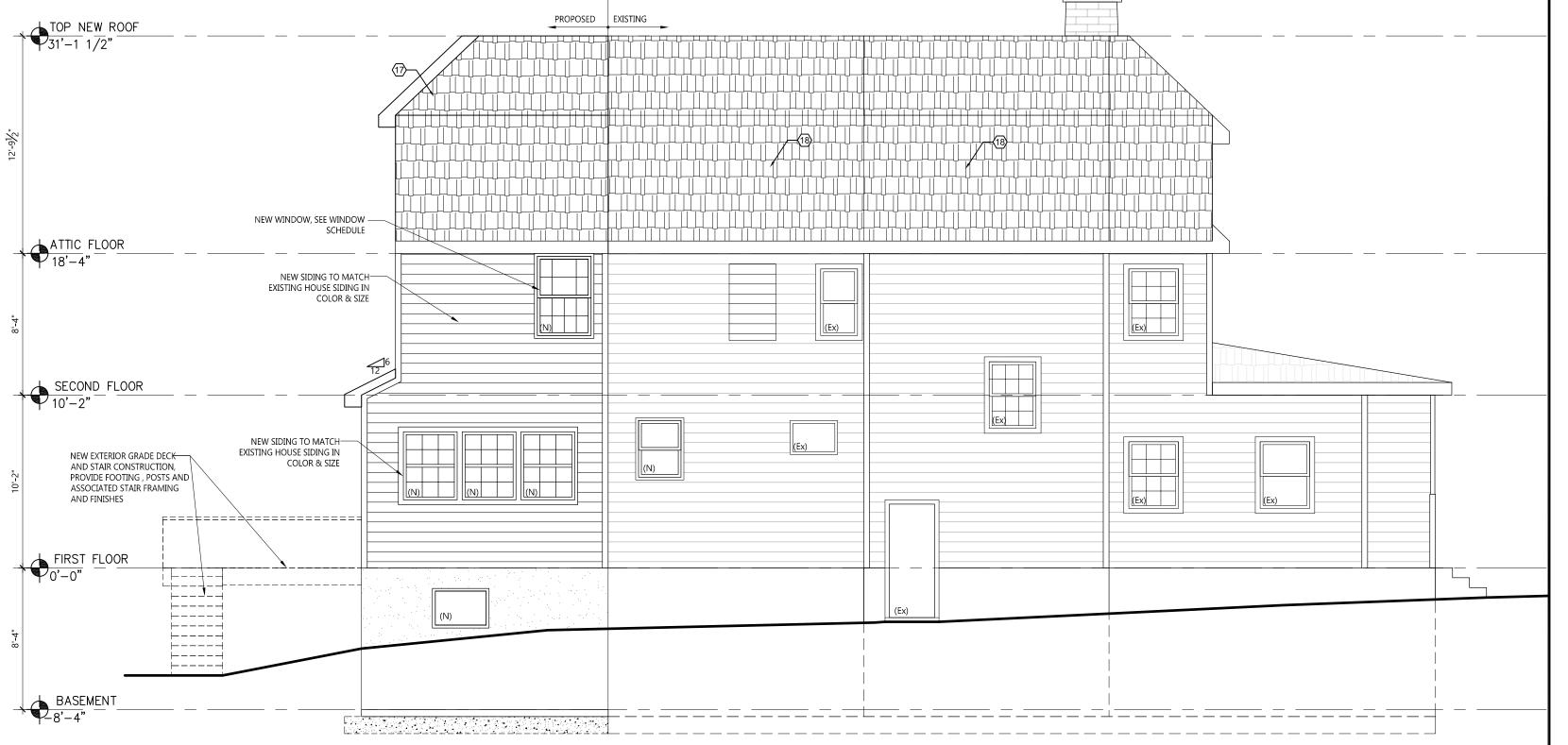
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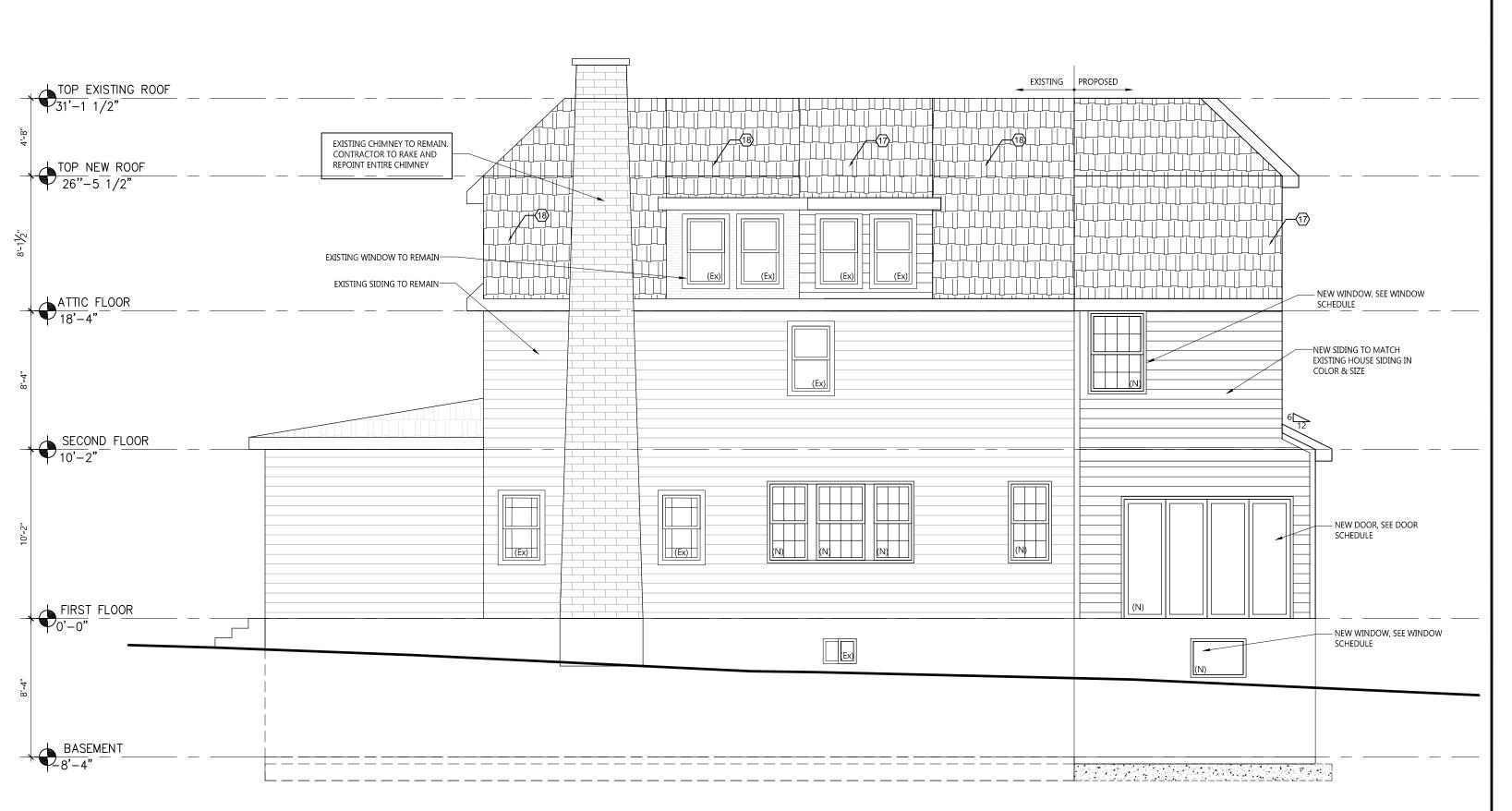
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- 15 NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
- $\langle 16 \rangle$  NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
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- EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.

<u>NOTE:</u> GUTTERS & RAIN LEADERS OMITTED FOR CLARITY. G.C. SHALL INSTALL ALL REQUIRED GUTTERS & RAIN LEADERS.



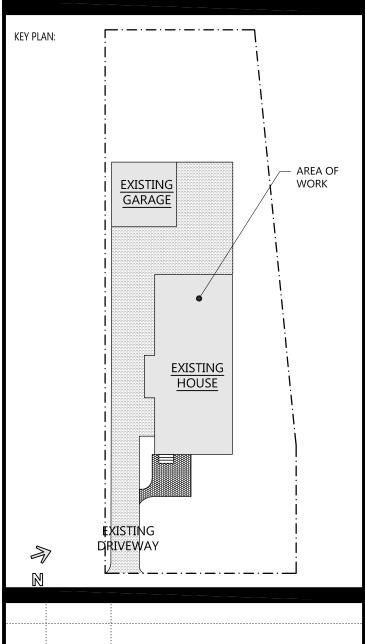


RIGHT PROPOSED SOUTH ELEVATION









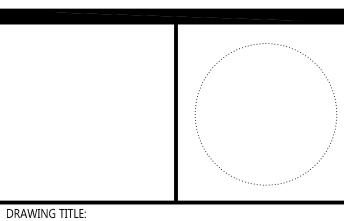
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ELEVATIONS

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ES-2436

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