
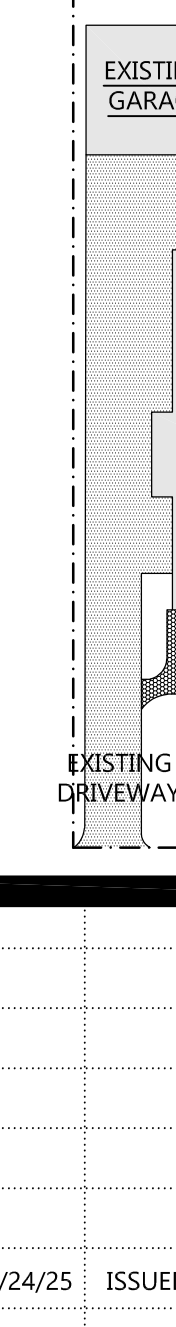



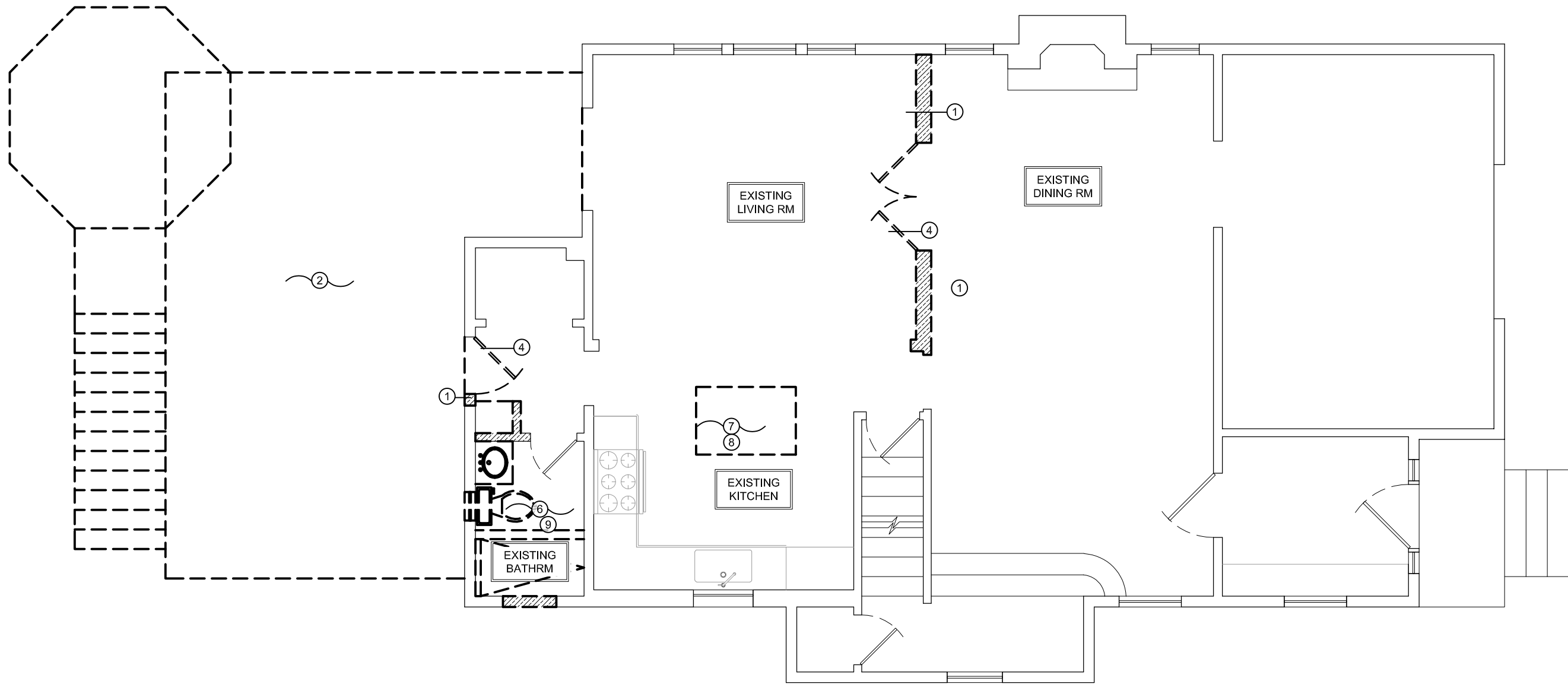
2 PLUMBING RISER DIAGRAM

A-01 SCALE: NTS

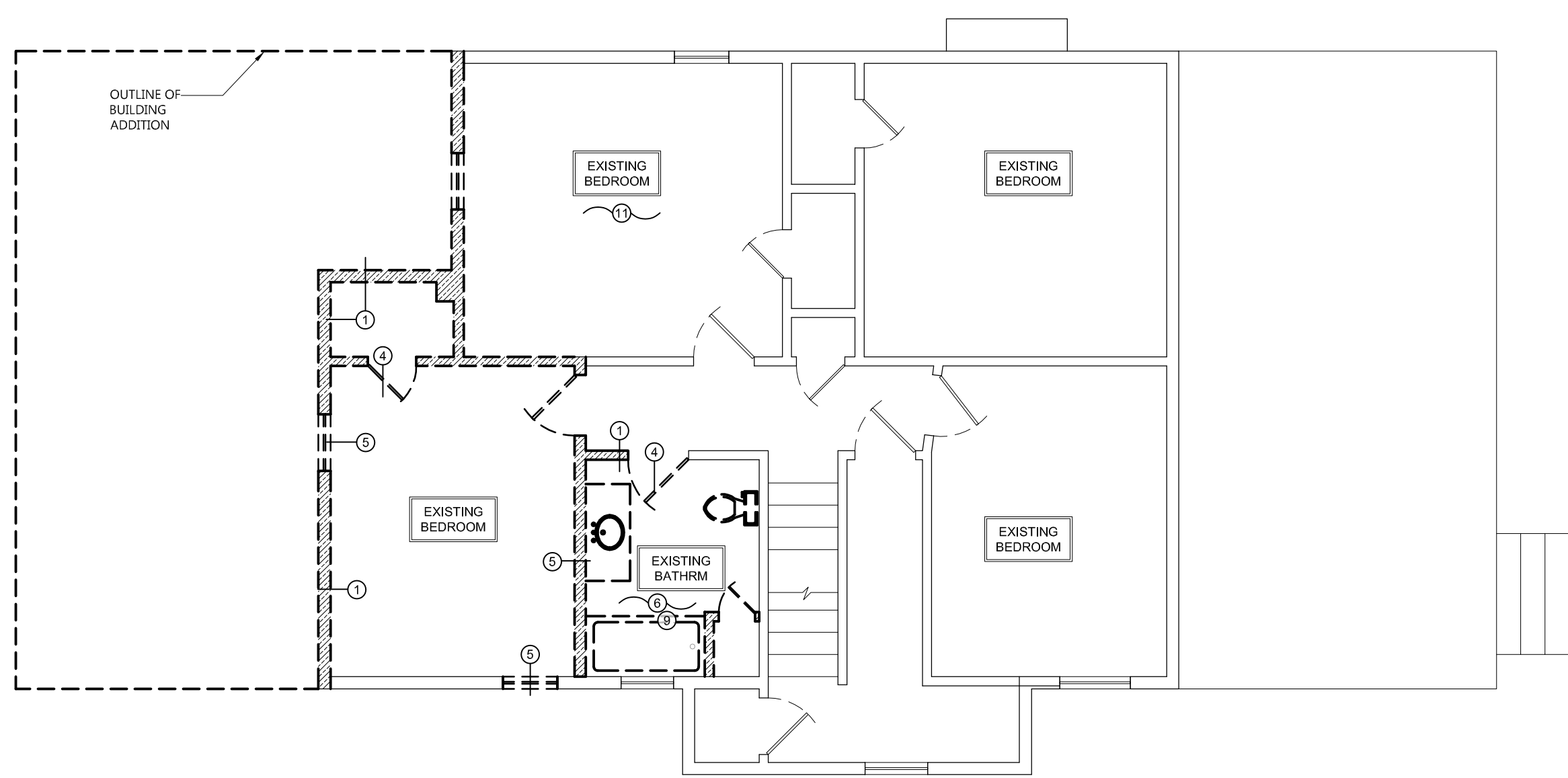
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (RESIDENTIAL)

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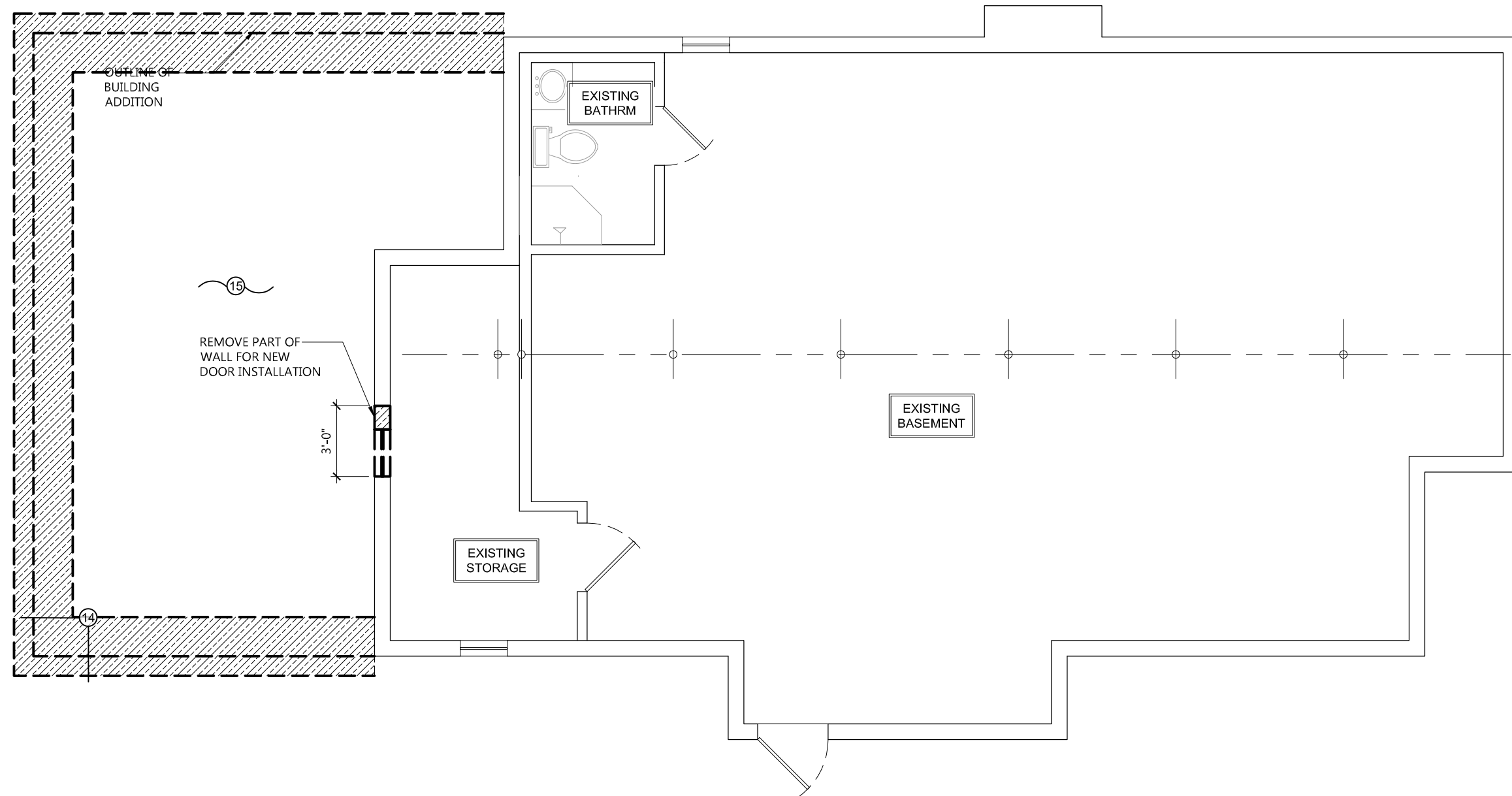
 <h1 style="margin: 0;">ARCHITECTS</h1> <p>EScott Architects, LLC 28 Arlington Avenue Caldwell, NJ 07006 <small>P. 973.552.8886 F. 973.680.1905 info@escottarchitects.com</small></p>		
KEY PLAN: 		
2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID
NO.	DATE	DESCRIPTION
PROJECT:		
<h2>BRANTLEY RESIDENCE</h2> <p>40 ELMWOOD VERONA, NJ 07044</p>		
		
DRAWING TITLE:		
<h2>SITE PLAN, CODES AND DETAILS</h2>		
DRAWN BY: <div style="border: 1px solid black; padding: 2px; text-align: center;">HM</div>		CHECKED BY: <div style="border: 1px solid black; padding: 2px; text-align: center;">ES</div>
DATE: <div style="border: 1px solid black; padding: 2px; text-align: center;">NOVEMBER 2024</div>		PROJECT NO.: <div style="border: 1px solid black; padding: 2px; text-align: center;">ES-2463</div>
DRAWING NO:		
<h1>A-01</h1>		
SHEET: 1 OF 10		



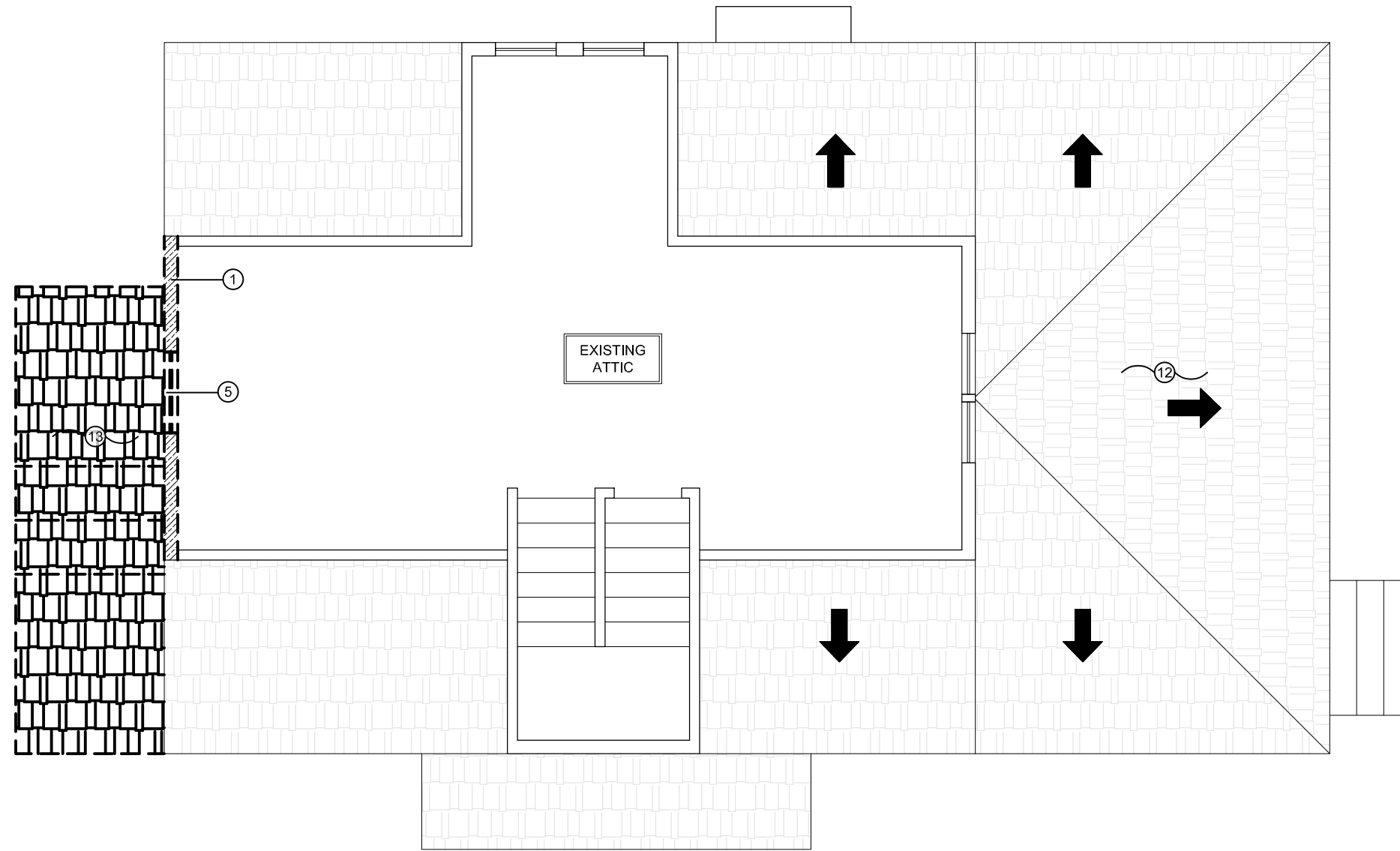
1 DEMOLITION FIRST FLOOR PLAN
A-02 SCALE: 3/16" = 1'-0"
PLAN ACTUAL



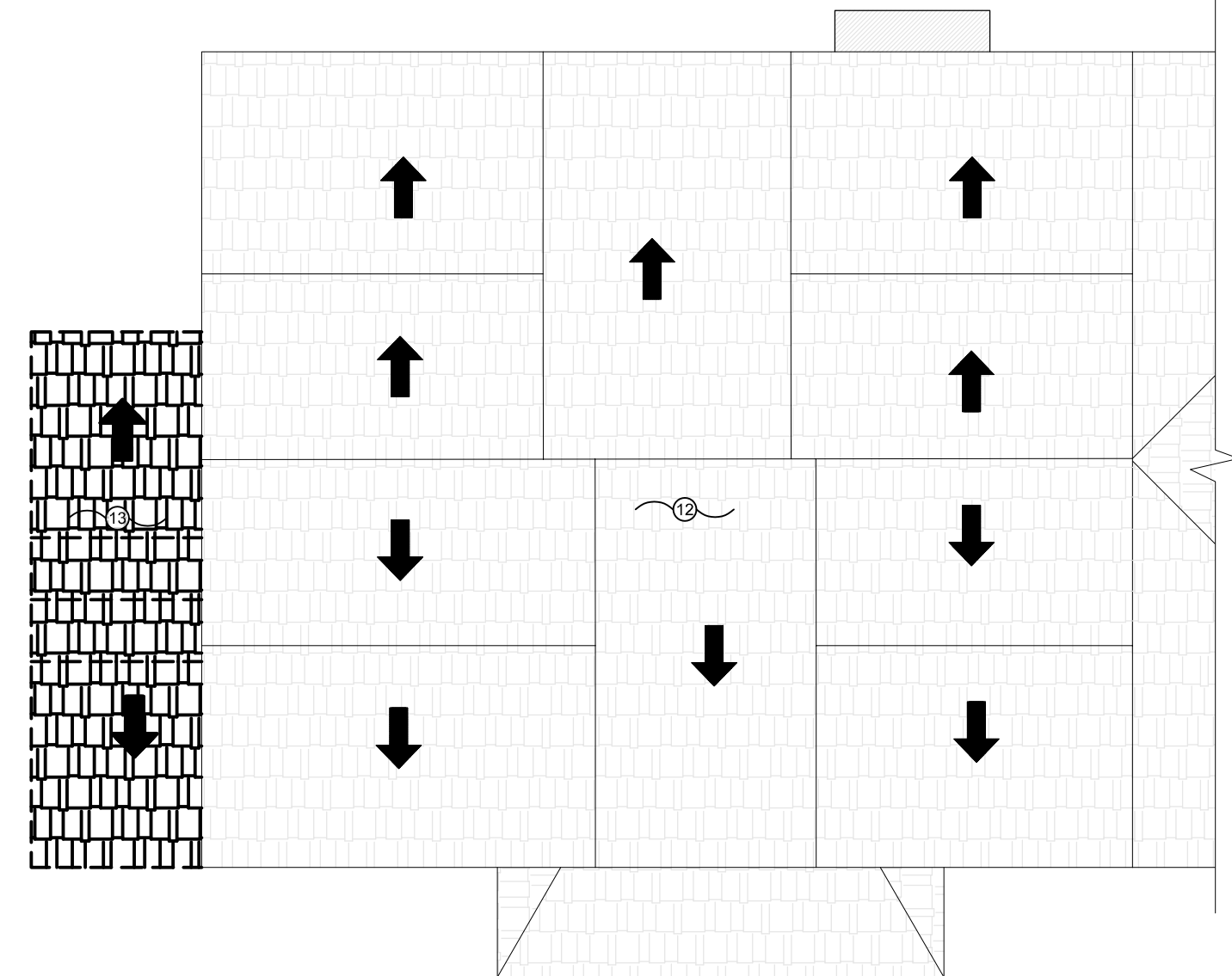
2 DEMOLITION SECOND FLOOR PLAN
A-02 SCALE: 3/16" = 1'-0"
PLAN ACTUAL



3 DEMOLITION BASEMENT PLAN
A-02 SCALE: 3/16" = 1'-0"
PLAN ACTUAL







4 DEMOLITION ATTIC PLAN
A-02 SCALE: 3/16" = 1'-0"
PLAN ACTUAL



5 DEMOLITION ROOF PLAN
A-02 SCALE: 3/16" = 1'-0"
PLAN ACTUAL

DEMOLITION LEGEND

	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	WINDOW TO BE REMOVED
	DOOR & FRAME TO BE REMOVED
<div data-bbox="97 1810 152 1839"><div data-bbox="97 1810 152 1839">NAME</div></div>	ROOM NAME

GENERAL DEMOLITION NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF DEMOLITION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING CEILINGS, WALL PARTITIONS, BEAMS ETC. DURING DEMOLITION TO MAINTAIN STRUCTURAL INTEGRITY. SEE STRUCTURAL NOTES ON DRAWING A-06.
- CONTRACTOR SHALL COVER AND TARP AREAS OF ROOF DURING DEMOLITION AND CONSTRUCTION TO ENSURE NO WATER AND DEBRIS PENETRATION.
- CONTRACTOR IS TO COORDINATE ALL DEMOLITION WITH OTHER TRADES.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL DEMOLITION WORK.
- CONTRACTOR SHALL REMOVE ANY UNUSED PLUMBING IN FLOOR PRIOR TO COMMENCING WORK. CONTRACTOR TO RELOCATE ANY EXISTING PIPING OBSTRUCTING WITH NEW WORK.
- EXISTING ELECTRICAL CONDUIT, WIRES AND BOXES IN AREAS OF WORK SHALL BE REMOVED AND REPLACED WITH NEW. ENSURE EXISTING OUTLETS, SWITCHES AND LIGHTS TO REMAIN ARE IN WORKING ORDER.
- CONTRACTOR TO VERIFY NO EXISTING TELECOMMUNICATION WIRES, COAXIAL CABLE AND OTHER EXISTING WIRING OR DEVICES ARE REMOVED AND OR DAMAGED DURING DEMOLITION.

DEMOLITION KEY NOTES

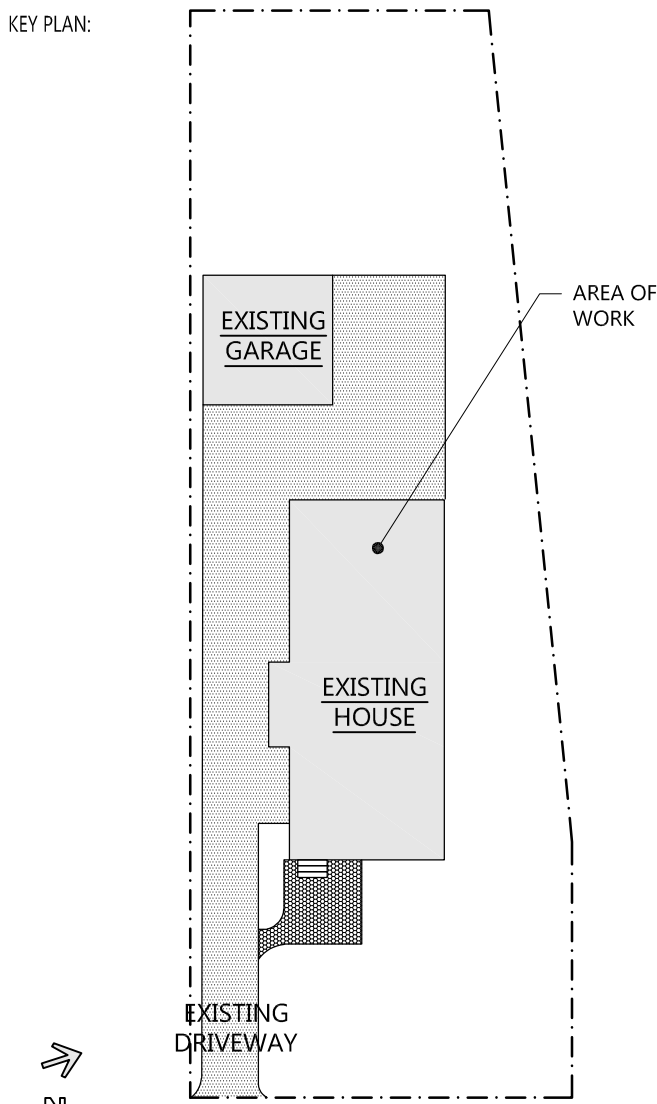
- EXISTING WALL TO BE REMOVED IN ITS ENTIRETY INCLUDING SHEATHING, STUDS, INSULATION, BLOCKING & THE LIKE.
- EXISTING DECK AND ASSOCIATED ITEMS TO BE REMOVED IN ITS ENTIRETY INCLUDING FOUNDATION AND GAZEBO STRUCTURE.
- EXISTING SLAB, PATIO AND ASPHALT TO BE REMOVED. PERFORM EXCAVATION FOR NEW FOOTINGS (BUILDING ADDITION AND STAIRS)
- REMOVE EXISTING DOOR, FRAMING, TRIM & ASSOCIATED HARDWARE. SALVAGE ALL DOOR HARDWARE FOR POSSIBLE REUSE.
- REMOVE EXISTING WINDOW, WINDOW FRAMING, TRIM AND ASSOCIATED HARDWARE IN ITS ENTIRETY.
- EXISTING TILE FLOORING TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO GROUT, SETTING BED, SUB-FLOOR AND THE LIKE.
- EXISTING KITCHEN ISLAND ONLY TO BE REMOVED INCLUDING CABINETS, COUNTER TOP, AND THE LIKE.
- EXISTING KITCHEN APPLIANCES AND FLOOR/WALL CABINETS TO REMAIN. CONTRACTOR TO PROTECT AND SALVAGE CABINETS.
- EXISTING PLUMBING FIXTURE TO BE REMOVED IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO HANGERS, PIPING AND THE LIKE.
- EXISTING CEILING TO BE REMOVED IN ITS ENTIRETY.
- PROTECT WOOD FLOORS DURING CONSTRUCTION AS REQUIRED SO NO DENTING OR DAMAGE IS DONE DURING DEMOLITION OR CONSTRUCTION.
- EXISTING ROOF SHINGLES TO REMAIN.
- REMOVE EXISTING ROOF SHINGLES, SHEATHING, RAFTERS AND ASSOCIATED ITEMS FOR NEW ADDITION.
- CREATE NEW TRENCH FOR CONTINUOUS FOOTING.
- PREPARE AREA TO RECEIVE NEW CONCRETE SLAB ON GRADE



ARCHITECTS

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2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID
NO.	DATE	DESCRIPTION

PROJECT:

BRANTLEY
RESIDENCE

40 ELMWOOD
VERONA, NJ 07044

DRAWING TITLE:

DEMOLITION FLOOR
PLANS AND NOTES

DRAWN BY:

MMH

CHECKED BY:

ES

DATE:

FEB 2025

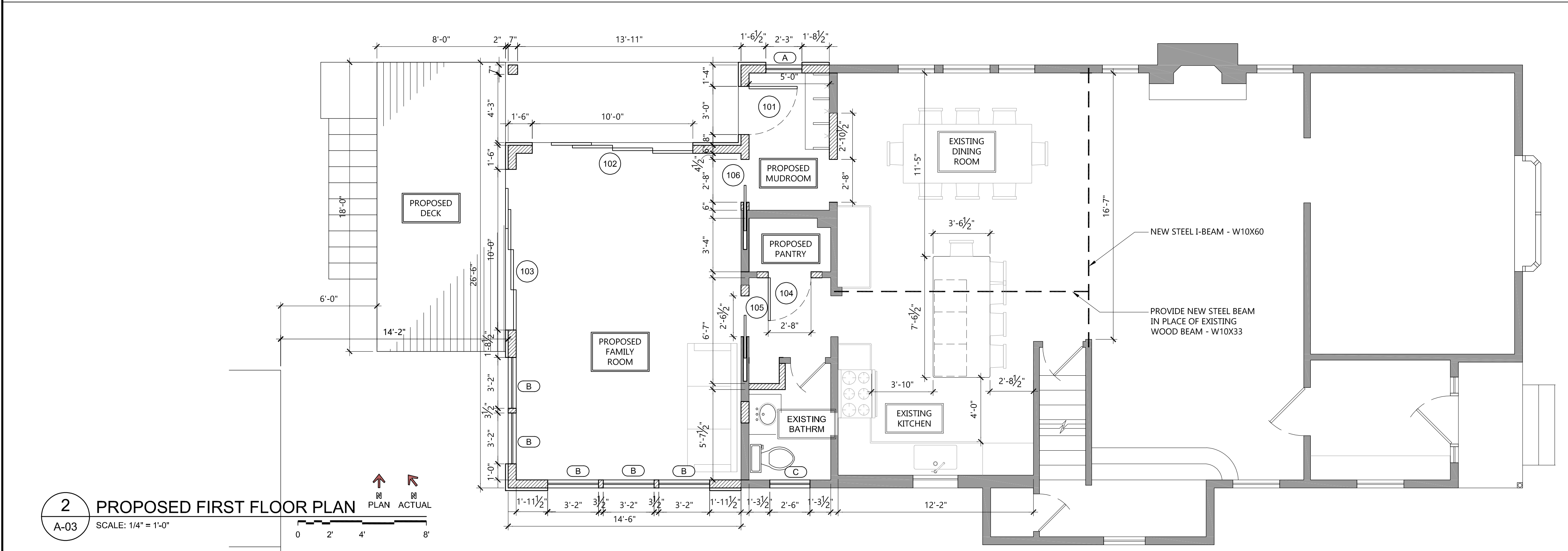
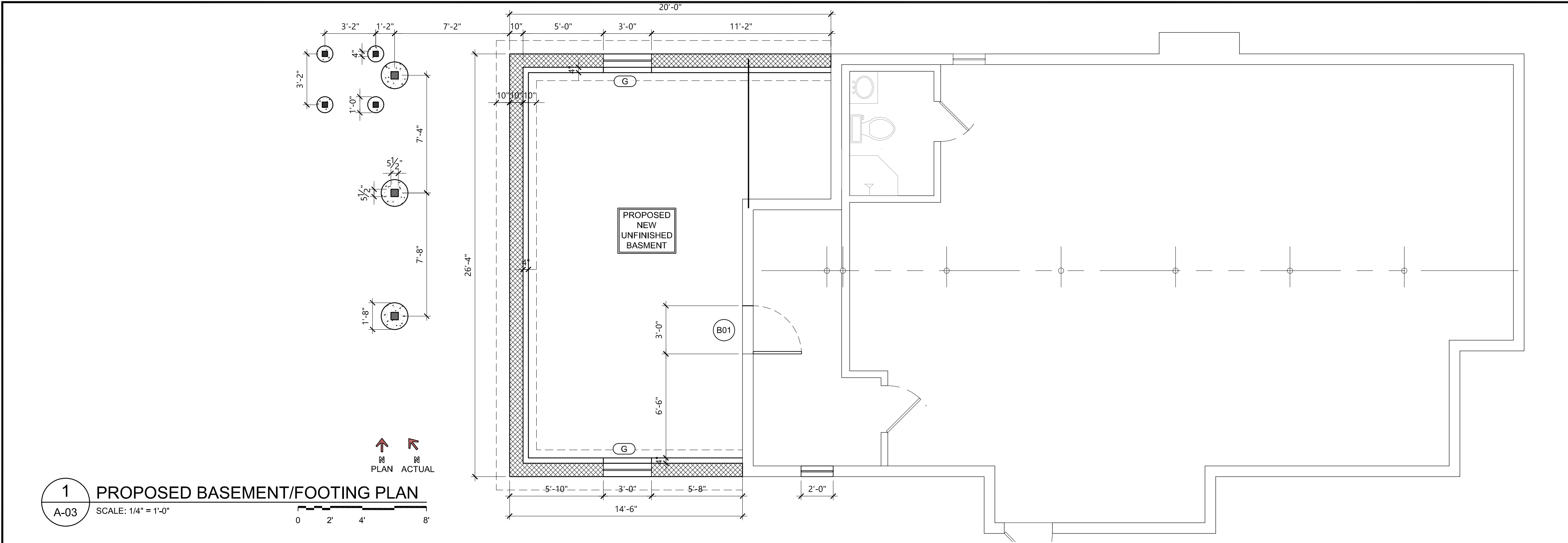
PROJECT NO:

ES-2436

DRAWING NO:

A-02

SHEET: 2 of 10



DOOR SCHEDULE					
#	TYPE OF DOOR	HARDWARE	WIDTH	HEIGHT	NOTES
BASEMENT FLOOR					
B01	NEW WOOD TWO-PANEL DOOR	PASSAGE	3'-0"	6'-8"	BASMENT
FIRST FLOOR					
101	FIBERGLASS ENTRY EXTERIOR DOOR	ENTRY	3'-0"	6'-8"	50% GLAZING
102	10" WIDE TELESOPING SLIDING PATIO DOOR	ENTRY	10'-0"	7'-0"	FULL TEMPERED GLAZING
103	10" WIDE TELESOPING SLIDING PATIO DOOR	ENTRY	10'-0"	7'-0"	FULL TEMPERED GLAZING
104	SOLID WOOD 2-PANEL DOOR	PASSAGE	2'-8"	6'-8"	PANTRY
105	SOLID WOOD 2-PANEL POCKET DOOR	PASSAGE	2'-6"	6'-8"	PANTRY
106	SOLID WOOD 2-PANEL POCKET DOOR	PASSAGE	2'-8"	6'-8"	MUDROOM
SECOND FLOOR					
201	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BEDROOM
202	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BEDROOM
203	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET
204	NEW SOLID WOOD TWO PANEL DOUBLE DOOR	PASSAGE	(2) 2'-0"	6'-8"	LAUNDRY
205	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET
206	NEW SOLID WOOD TWO PANEL DOOR	PASSAGE	2'-6"	6'-8"	CLOSET
207	NEW SOLID WOOD TWO PANEL DOOR	PRIVACY	2'-6"	6'-8"	BATHROOM
ATTIC FLOOR					
301	NEW WOOD 2-PANEL WOOD DOOR	PASSAGE	2'-6"	6'-8"	CLOSET

DOOR NOTES	
- ALL EXISTING ROOM ENTRY DOORS TO BE REPLACED AS SHOWN.	
- ALL INTERIOR DOORS TO HAVE SOLID BLACK DOOR KNOBS + HARDWARE (OR) TO MATCH EXISTING. CONFIRM FUNCTIONS AND MATERIAL WITH OWNER.	
- ALL DOORS TO BE SOLID CORE WOOD 6 PANEL DOORS. CONFIRM DOOR STYLE AND MATERIAL WITH OWNER.	
- CONFIRM NEW DOOR HEIGHT WITH EXISTING DOORS AND EXISTING OPENINGS WHERE REQUIRED.	

WINDOW SCHEDULE				
#	TYPE OF WINDOW	R.O. WIDTH	UNIT HEIGHT	NOTES
BASEMENT FLOOR				
G	NEW VINYL HOPPER WINDOW	3'-0"	2'-0"	BASMENT - QTY=2
FIRST FLOOR				
A	NEW WOOD DOUBLE HUNG WINDOW	2'-3"	4'-0"	TEMPERED - QTY=1
B	NEW WOOD DOUBLE HUNG WINDOW	3'-2"	5'-9"	QTY=5
C	NEW WOOD DOUBLE HUNG WINDOW	2'-6"	3'-0"	QTY=1
SECOND FLOOR				
D	NEW WOOD DOUBLE HUNG WINDOW	3'-2"	4'-9"	EGRESS WINDOW - QTY=6
ATTIC FLOOR				
E	NEW WOOD DOUBLE HUNG WINDOW	2'-6"	3'-0"	QTY=2
F	NEW WOOD DOUBLE HUNG WINDOW	2'-3"	3'-0"	QTY=2

WINDOW NOTES	
- ALL WINDOWS TO HAVE INSULATED LOW-E GLASS, SCREENS, AND HARDWARE TO MATCH EXIST.	
- ALL TRIM TO MATCH EXISTING WHERE TO REMAIN. SILL HORNS TO EXTEND FOR TRIM. ALL EXTERIOR WALLS 2X6 WOOD STUDS (VERIFY IN FIELD).	
- ALL EGRESS WINDOWS TO BE PER NJ CODE - 5.7 SQ FT CLEAR OPNG., 24" MIN. HEIGHT, 20" MIN. WIDTH MAX. 44" SILL HEIGHT ABOVE FINISH FLOOR.	
- WINDOWS TO CLOSELY MATCH EXISTING AS POSSIBLE IN SIZE, DESIGN AND MATERIAL.	
- CONTRACTOR TO CONFIRM WITH OWNER REGARDING STYLE, MATERIAL AND OPTIONS FOR ALL WINDOWS.	

CONSTRUCTION PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW GYP. BD. PARTITION
	NEW MILLWORK / cabinets as selected by owner
	4" TYP. NEW DOOR & FRAME TO BE INSTALLED SEE DOOR SCHEDULE FOR TYPE
	NEW WINDOW & FRAME TO BE INSTALLED SEE WINDOW SCHEDULE FOR TYPE
	ROOM NAME
	DET. # ELEVATION/SECTION KEY DWG #
	DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

- DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY DUST AND DEBRIS PROTECTION BETWEEN AREAS OF CONSTRUCTION AND AREAS IN WHICH NO WORK IS TAKING PLACE. LOCATION OF SUCH PROTECTION SHALL BE VERIFIED WITH OWNER PRIOR TO COMMENCING WORK. HE SHALL PERFORM THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
- ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION ON THE INTERIOR AND 1.5" INSULATED ZIP WALL SYSTEM WITH CONTINUOUS INSULATION ON THE EXTERIOR. NEW ROOF TO HAVE R-49. NEW FLOOR TO HAVE R-19. BASEMENT WALL R-10 CI OR BATT R-13 AS PER NJ IRC 2021.1102.1.2 AND IECC 402.1.1.
- PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
- CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, WINDOWS BELOW 18" AFF AND SHOWER ENCLOSURES TO HAVE SAFETY GLAZING - REQUIRES MARKING: CPSC 16: CFR 1201.
- NEW ELECTRICAL OUTLETS, PHONE OUTLETS, AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
- PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
- FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL FRAMING NOTE #19 ON SHEET A-07

CONSTRUCTION KEY NOTES

- NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD ON BOTH SIDES OF WALL WHERE 6" WALL. PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION. EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
- NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
- NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER
- NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- NEW CLOSET/PANTRY SHELIVING AS SELECTED BY OWNER
- NEW TUB/SHOWER COMBO UNIT WITH GLASS DOORS.
- NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF NEW WORK.
- NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
- NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
- NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS REQUIRED.
- EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.

ARCHITECTS

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KEY PLAN:

2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID
NO.	DATE	DESCRIPTION

PROJECT:

BRANTLEY RESIDENCE

40 ELMWOOD VERONA, NJ 07044

DRAWING TITLE:

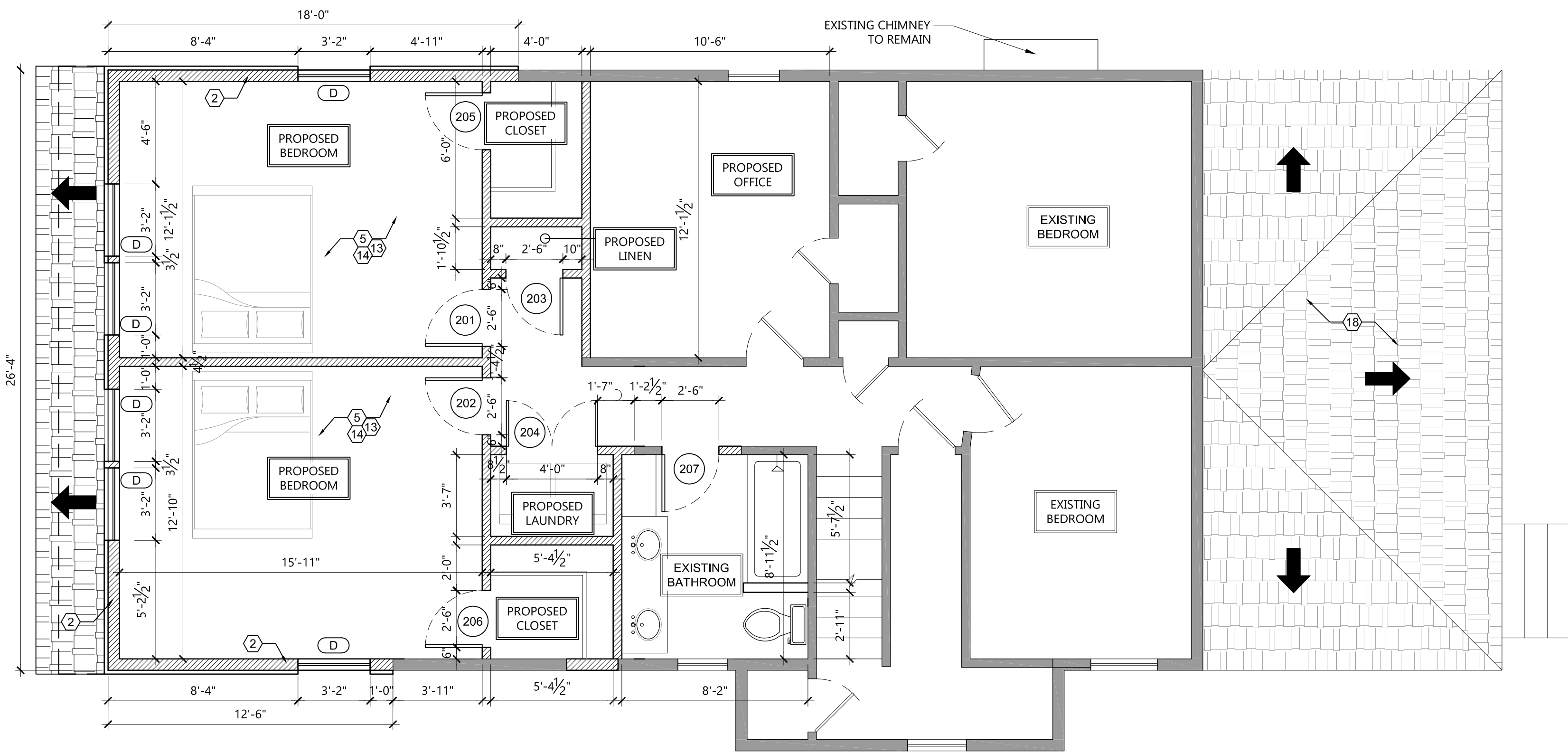
PROPOSED BASEMENT & FIRST FLOOR PLANS

DRAWN BY:	CHECKED BY:
MMH	ES
DATE:	PROJECT NO:
FEB 2025	ES-2436

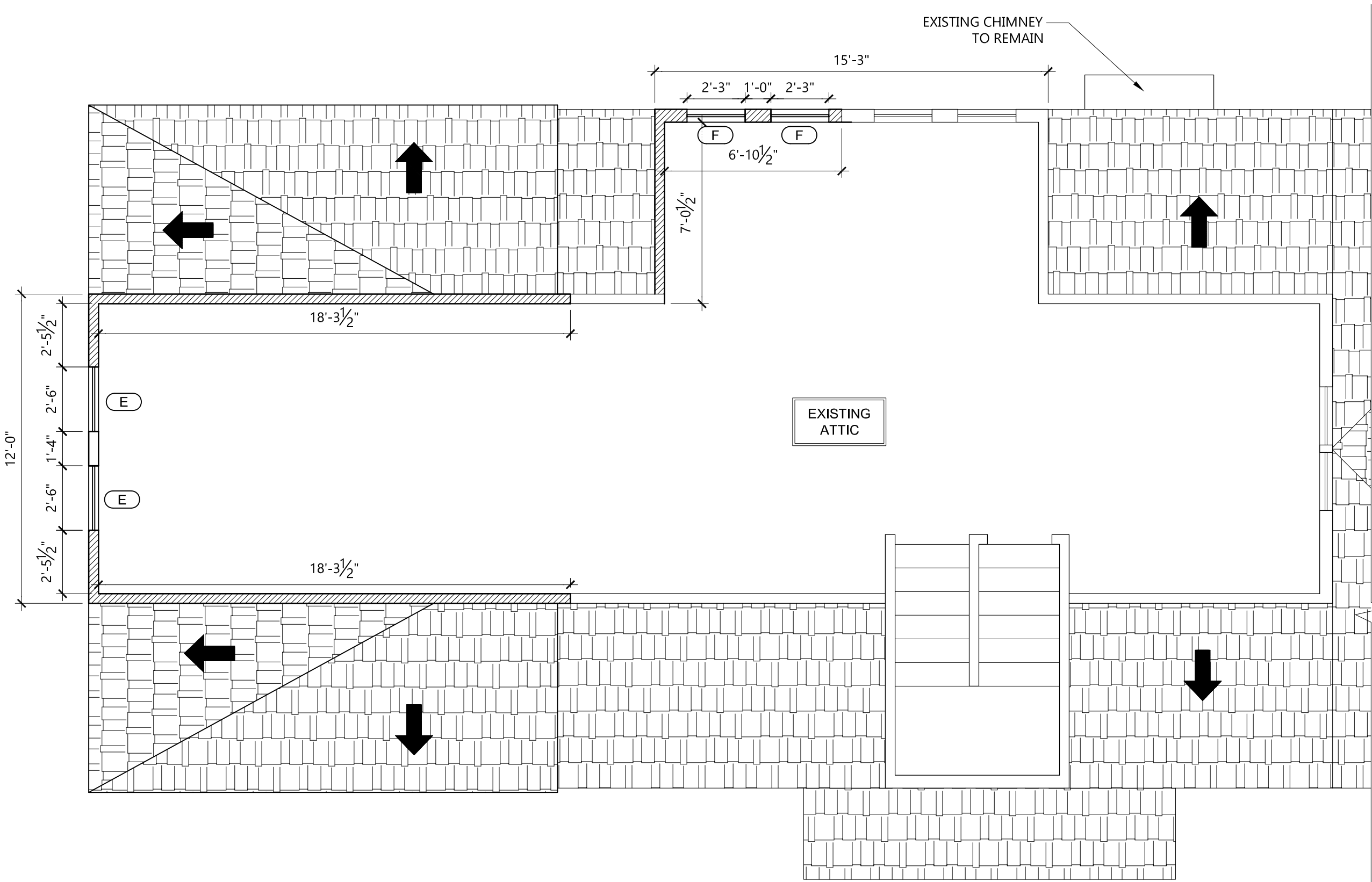
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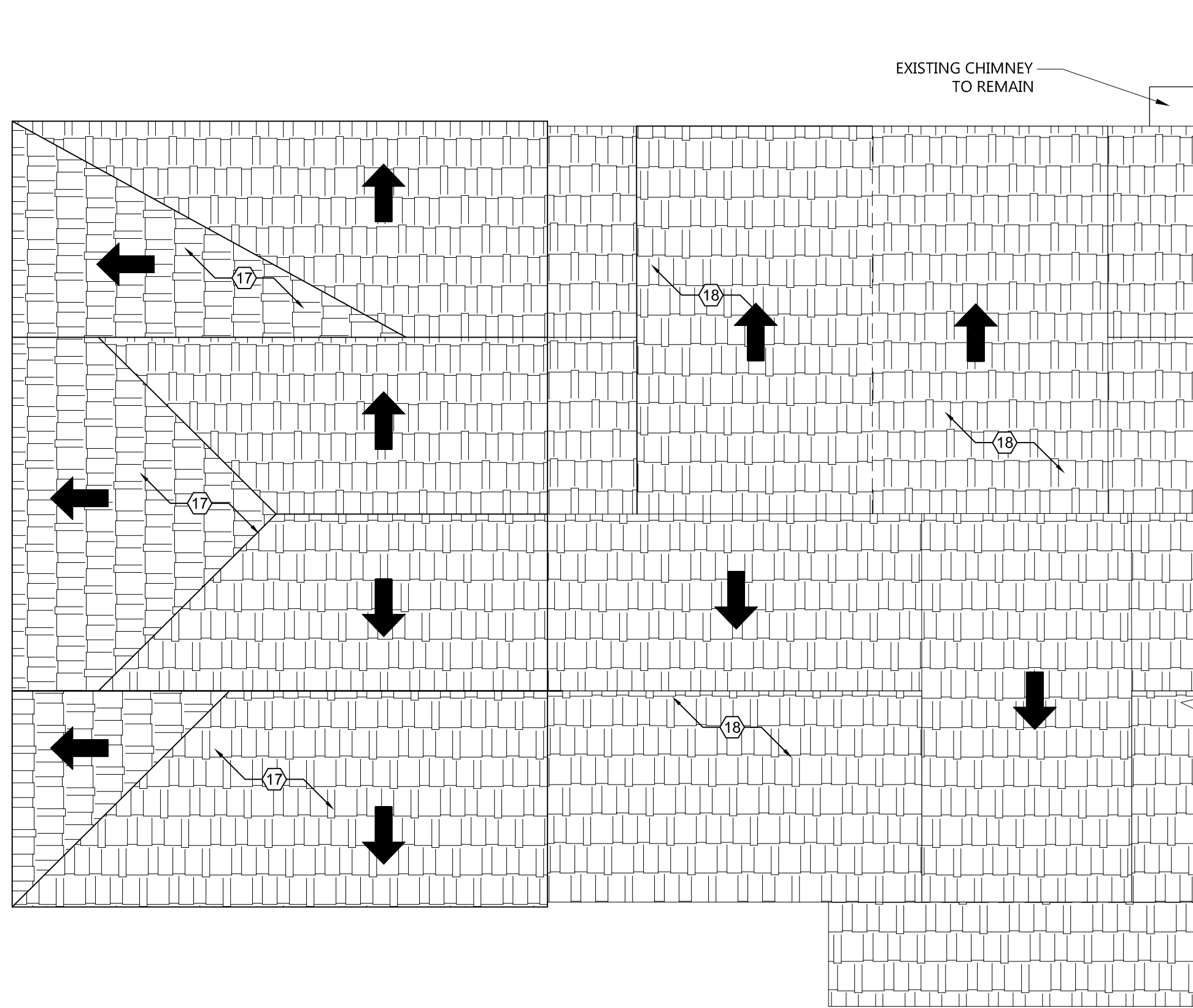
SHEET: 3 of 10



1 PROPOSED SECOND FLOOR PLAN
A-04 SCALE: 1/4" = 1'-0"



2 PROPOSED ATTIC PLAN
A-04 SCALE: 1/4" = 1'-0"



3 PROPOSED ROOF PLAN
A-04 SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN LEGEND

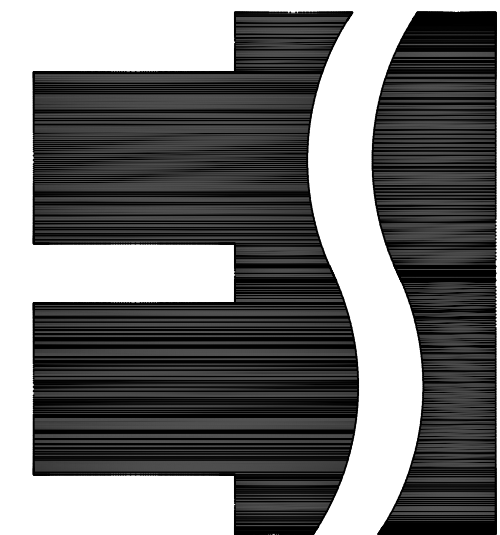
- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- NEW MILLWORK / CABINETS AS SELECTED BY OWNER
- NEW DOOR & FRAME TO BE INSTALLED
SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED
SEE WINDOW SCHEDULE FOR TYPE
- NAME ROOM NAME
- DET. # ELEVATION/SECTION KEY
DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

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CONSTRUCTION KEY NOTES

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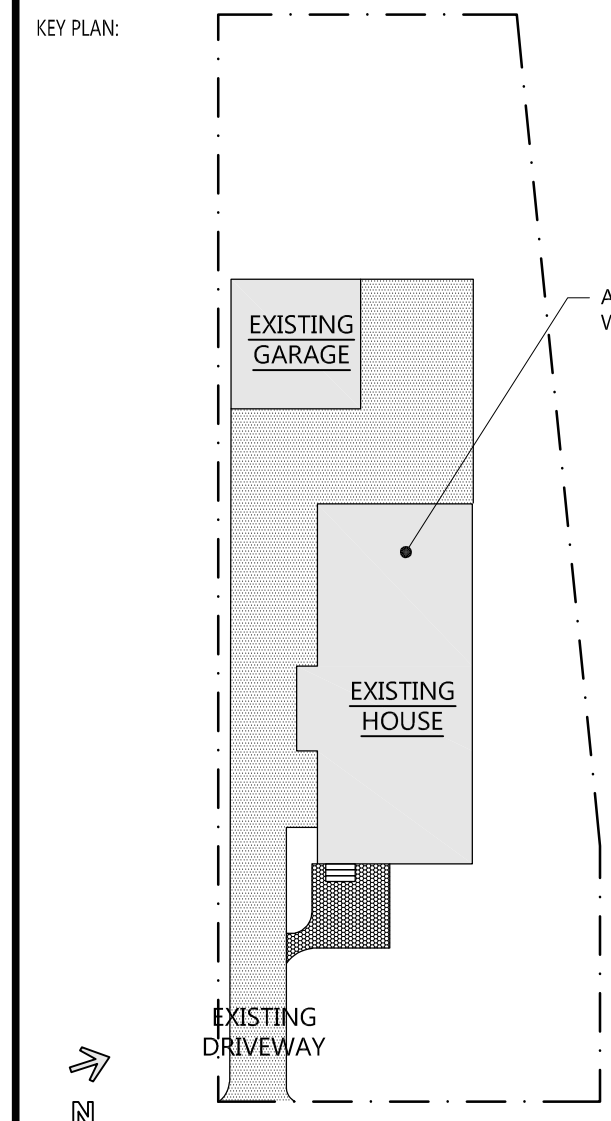
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KEY PLAN:



2	03/24/25	ISSUED FOR VARIANCE
1	03/19/25	ISSUED FOR BID
NO.	DATE	DESCRIPTION

PROJECT:

BRANTLEY
RESIDENCE

40 ELMWOOD
VERONA, NJ 07044

DRAWING TITLE:

PROPOSED
SECOND, ATTIC &
ROOF FLOOR PLANS

DRAWN BY:

MMH

CHECKED BY:

ES

DATE:

FEB 2025

PROJECT NO:

ES-2436

DRAWING NO:

A-04

SHEET: 4 of 10

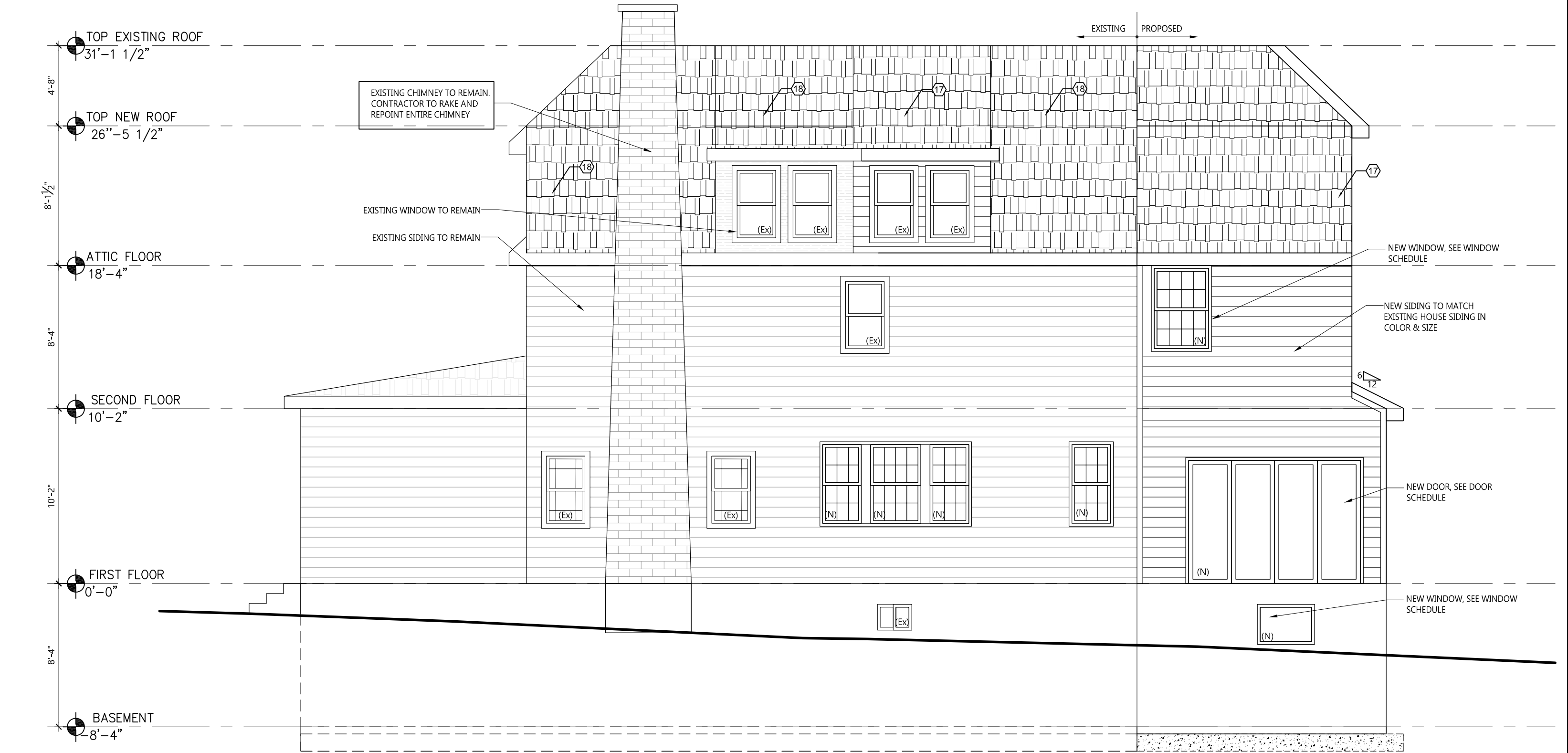
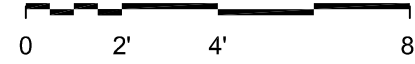
CONSTRUCTION KEY NOTES

- 1 NEW TYP. 2X4 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD ON BOTH SIDES OF WALL. WHERE 6" WALL, PROVIDE 2X6 WOOD STUD WALL @ 16" O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- 2 NEW 2X6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION. EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- 3 NEW 10" CMU REINFORCED FOUNDATION WALL. PROVIDE WALL VENTS AT ALL WALLS. NEW FOOTING TO BE MIN. 3'-0" BELOW GRADE AND BE STEPPED DOWN TO EXISTING HOUSE FOOTING.
- 4 NEW PROPOSED CRAWL SPACE. PROVIDE 3" CONCRETE SLAB OVER CRUSHED STONE COMPACTED BASE.
- 5 NEW T&G WOOD FLOORING TO MATCH EXISTING AS CLOSELY AS POSSIBLE. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- 6 NEW TILE FLOORING. CONFIRM TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- 7 NEW KITCHEN/BATHROOM CABINETS AND COUNTER TOPS AS SELECTED BY OWNER.
- 8 EXISTING KITCHEN CABINETS TO REMAIN. PROVIDE NEW ISLAND AND COUNTER AS SELECTED BY OTHERS. COORDINATE WITH OWNER.
- 9 NEW PLUMBING FXTURE AS SELECTED BY OWNER.
- 10 NEW CLOSET/PANTRY SHELIVING AS SELECTED BY OWNER.
- 11 NEW TUB/SHOWER COMBO UNIT WITH GLASS DOORS.
- 12 NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- 13 NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- 14 NEW HEATING/AIR CONDITIONING TO BE CONFIRMED WITH OWNER AT EXTENT OF NEW WORK.
- 15 NEW BEAM. SEE STRUCTURAL SIZES ON FLOOR PLAN AND FRAMING PLAN.
- 16 NEW WOOD STAIR CONSTRUCTION FROM FIRST FLOOR TO GROUND.
- 17 NEW ROOFING SHINGLE AND SUBSTRUCTURE AT EXTENT OF NEW BUILDING. PROVIDE NEW RAFTERS, SHEATHING, VAPOR BARRIER AND ICE-WATER SHIELD AS REQUIRED.
- 18 EXISTING ROOFING TO BE REPLACED WITH NEW VAPOR BARRIER AND SHINGLES. EXISTING SHEATHING AND RAFTERS TO REMAIN.

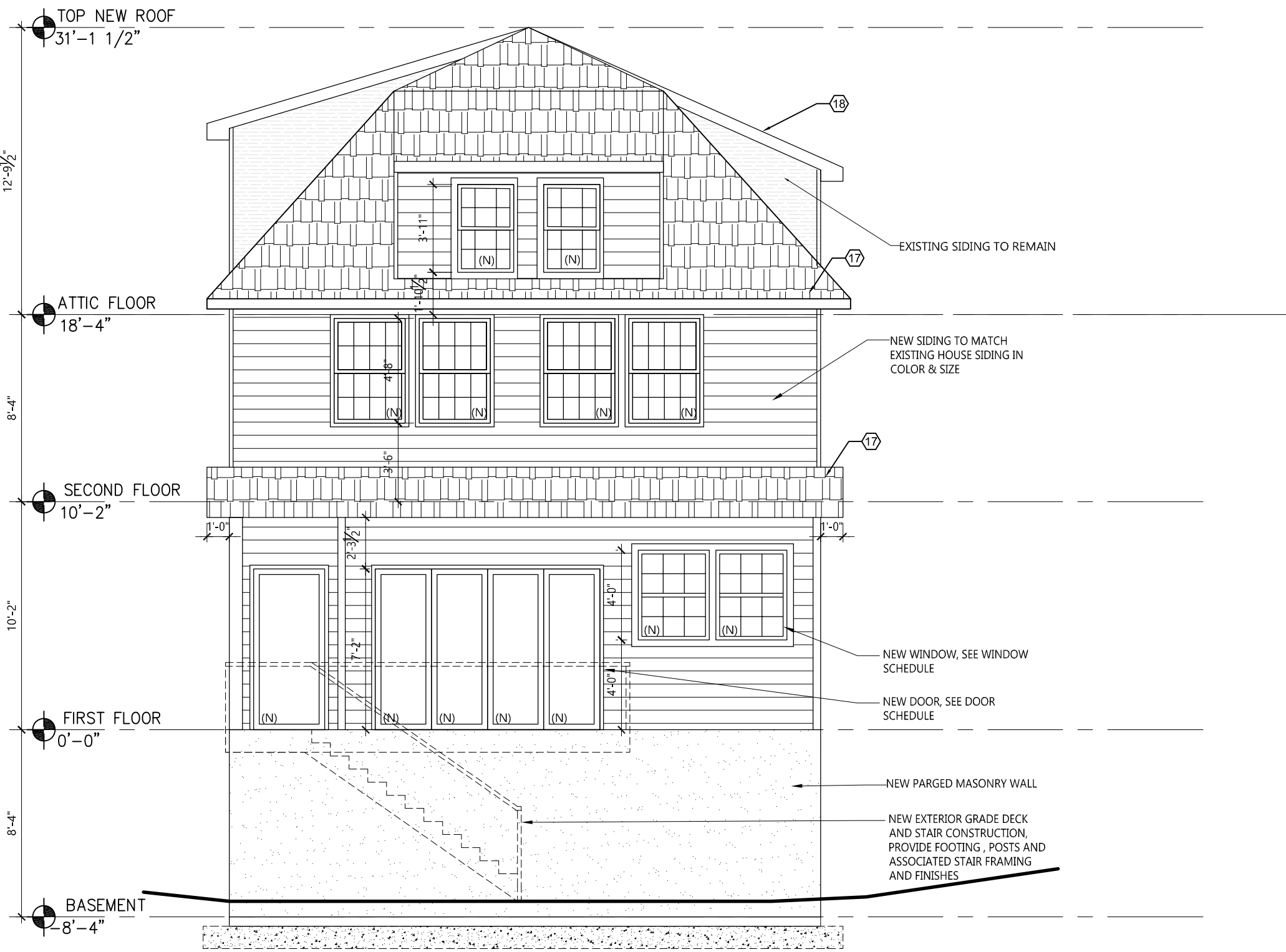
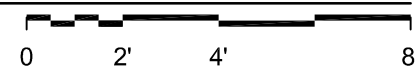
NOTE:
GUTTERS & RAIN LEADERS OMITTED FOR CLARITY.
G.C. SHALL INSTALL ALL REQUIRED GUTTERS & RAIN LEADERS.



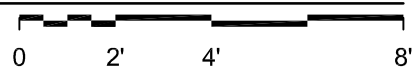
2
A-05
RIGHT
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3
A-05
LEFT
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A-05
REAR
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



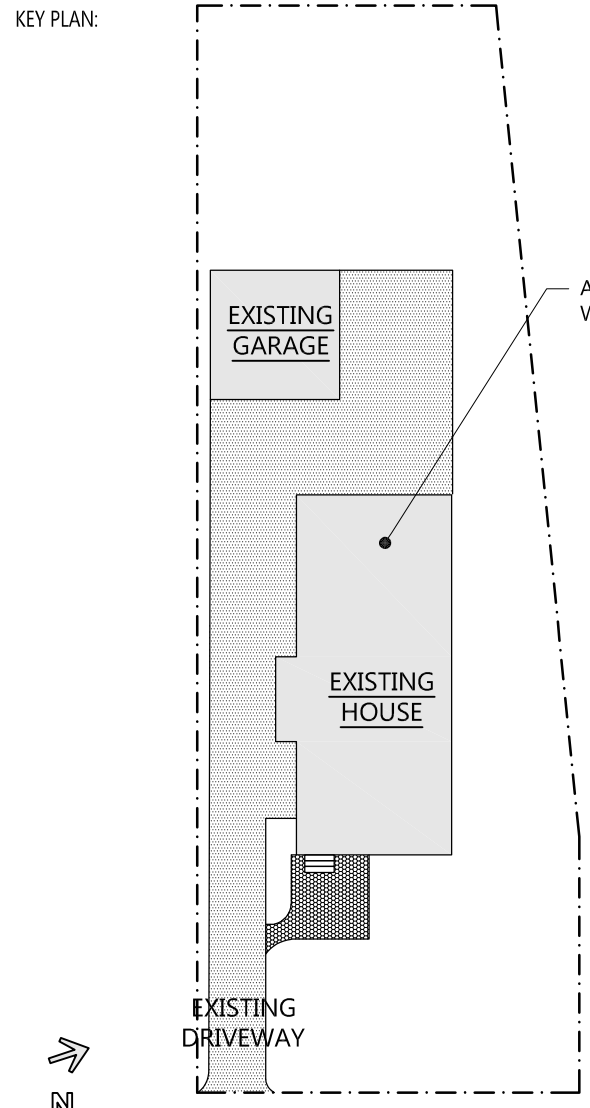
ARCHITECTS

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KEY PLAN:



2 03/24/25 ISSUED FOR VARIANCE

1 03/19/25 ISSUED FOR BID

NO. DATE DESCRIPTION

PROJECT:

BRANTLEY
RESIDENCE

40 ELMWOOD
VERONA, NJ 07044

DRAWING TITLE:

PROPOSED
ELEVATIONS

DRAWN BY:

MMH

CHECKED BY:

ES

DATE:

FEB 2025

PROJECT NO:

ES-2436

DRAWING NO:

A-05

SHEET: 5 of 10